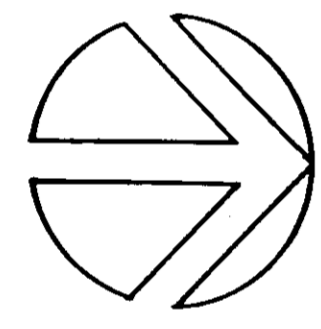
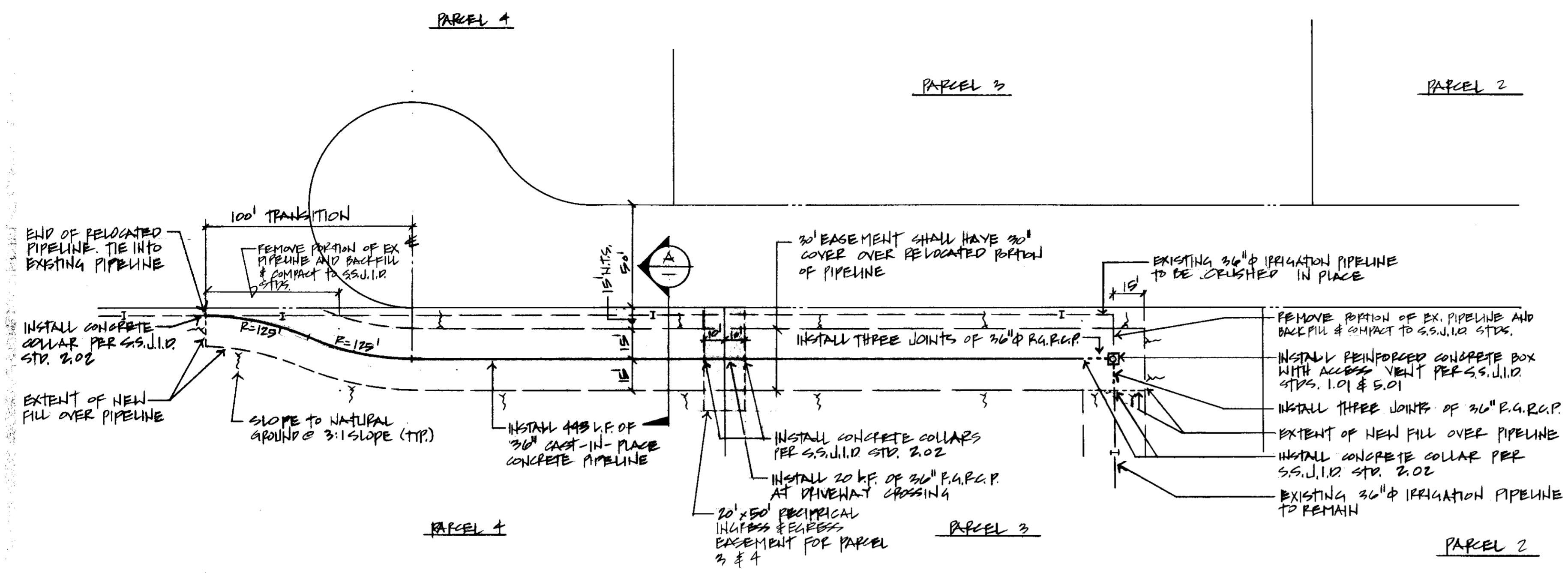
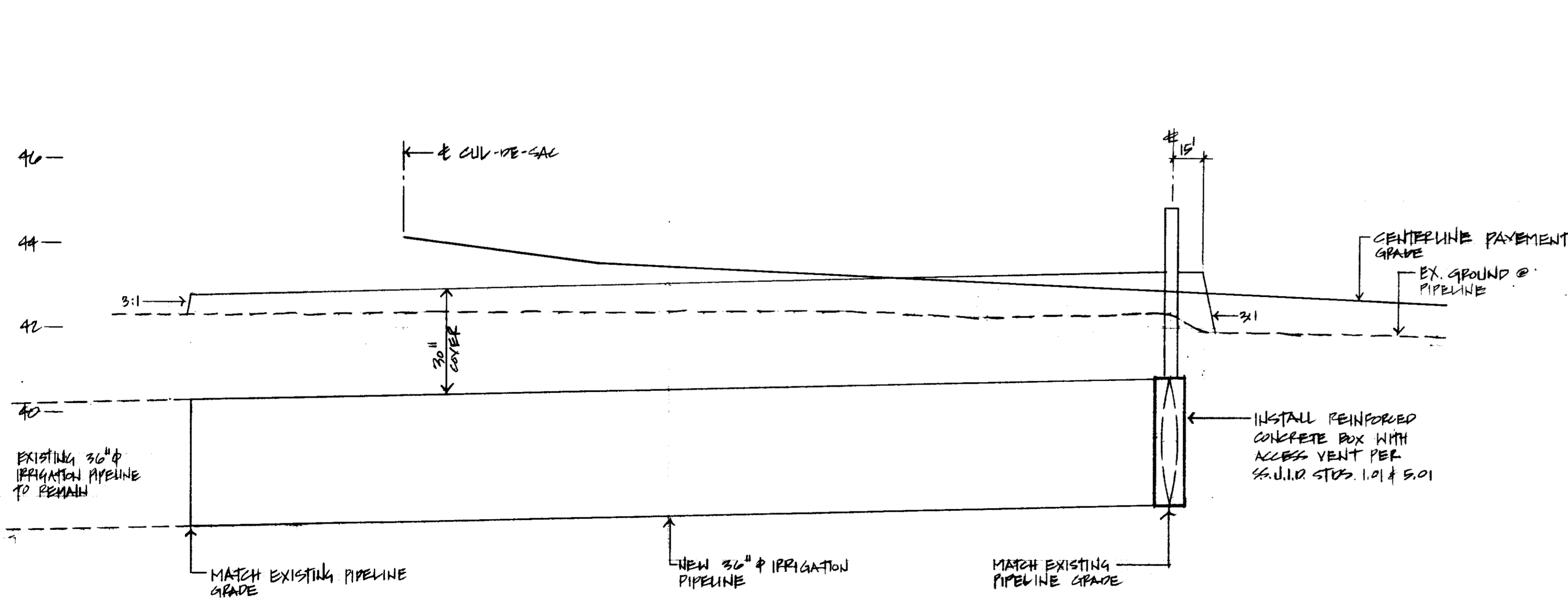


IMPROVEMENT PLANS  
FOR  
**SOUTHLAND COURT**  
SAN JOAQUIN COUNTY, CALIFORNIA

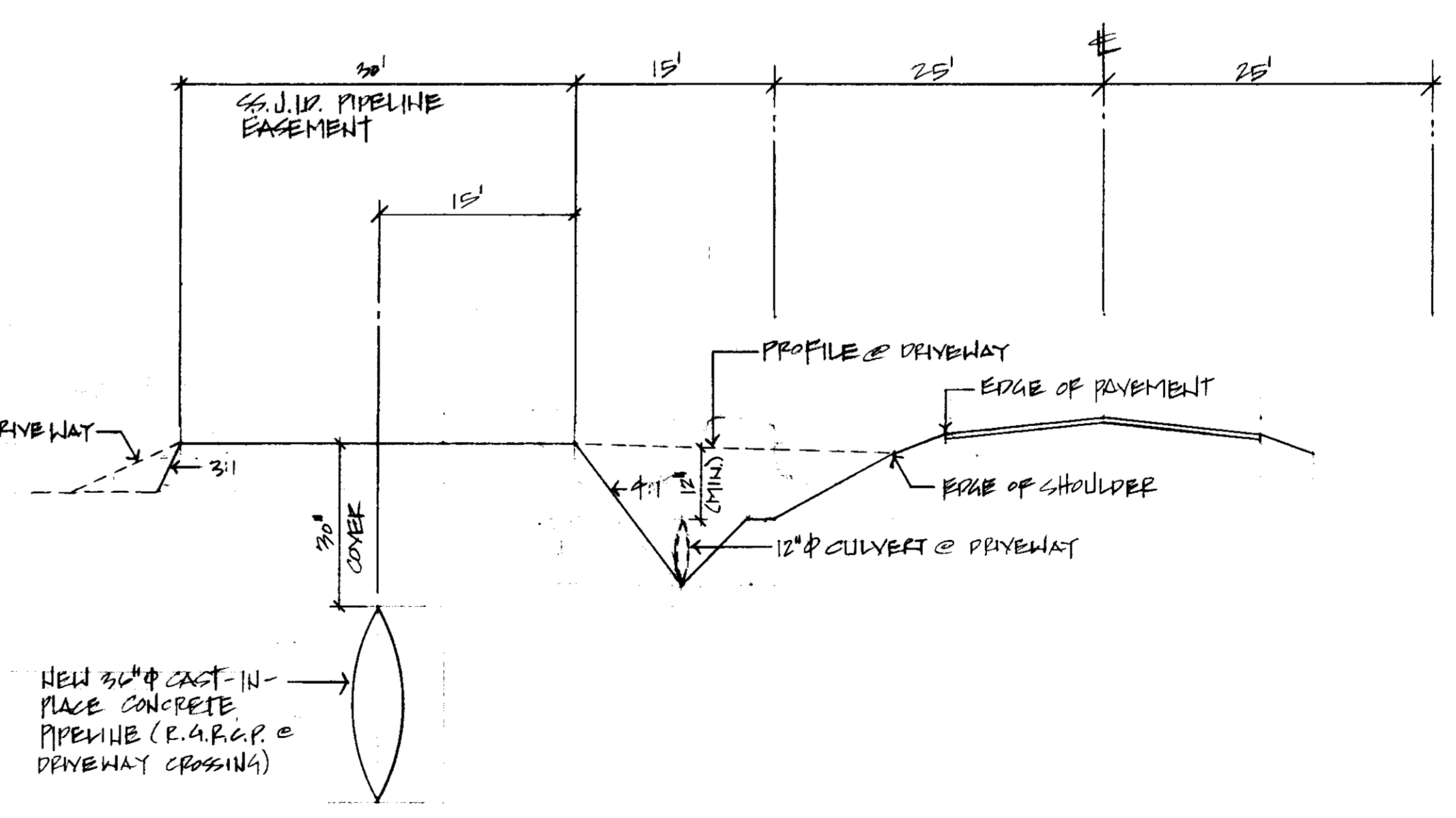


**SOUTHLAND COURT**  
SCALE: 1" = 40' HORIZONTAL  
1" = 2' VERTICAL

RECORD DRAWING  
110  
12.18.95



**PROFILE**



**SECTION "A"**  
SCALE: 1" = 10' HORIZONTAL  
1" = 2' VERTICAL

Su2695

S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.  
SO CONDITIONALLY APPROVED: *[Signature]*  
DATE: 2-25-93

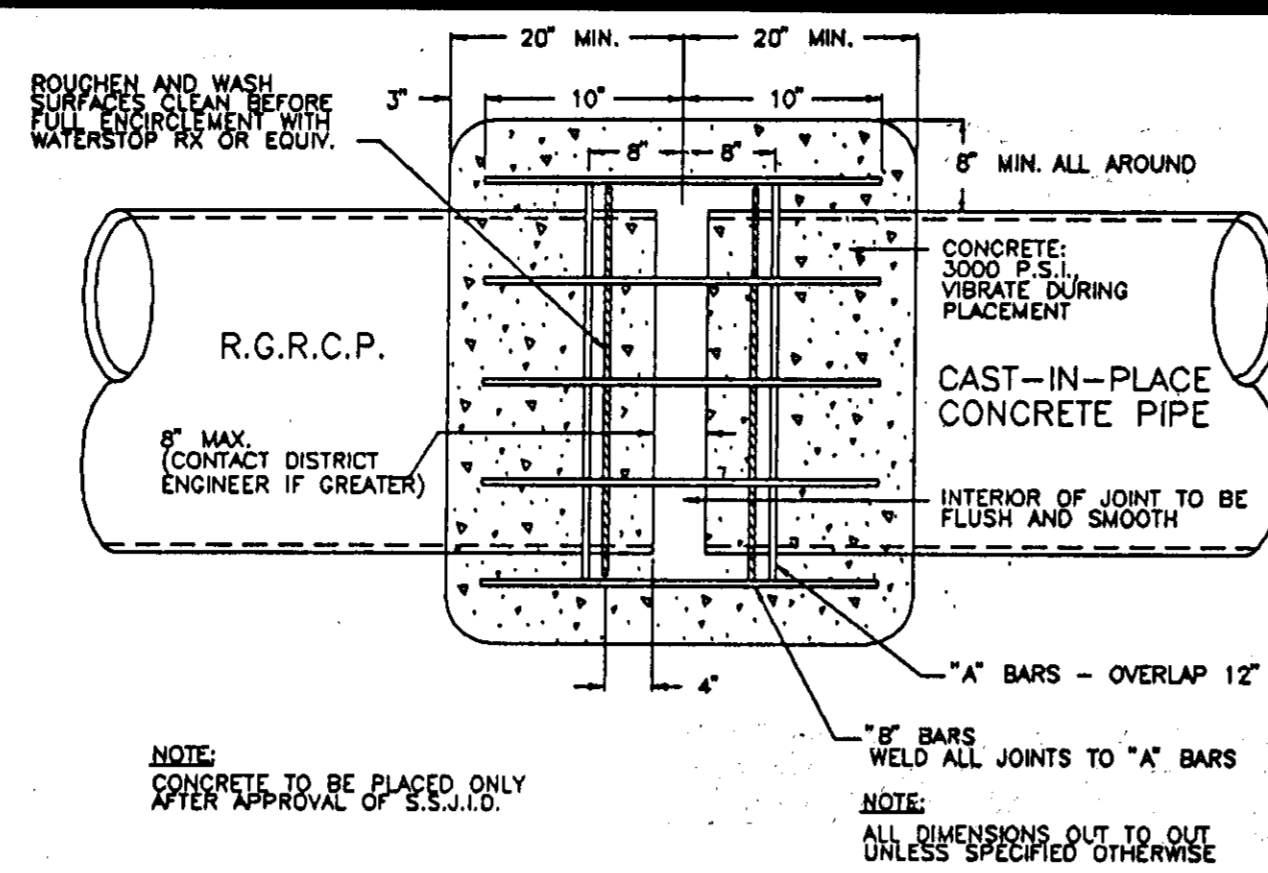
AUGUST 1992  
STAFF

90-165

SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
CONSTRUCTION NOTES

The following apply to all work within South San Joaquin Irrigation District right-of-way or easements and all work on South San Joaquin Irrigation District irrigation lines:

- South San Joaquin Irrigation District shall be contacted at least 48 hours prior to commencement of work on irrigation lines. Construction on or near irrigation lines must be accomplished between October 15 and February 15 of any year. Between the time of February 15 and October 15 irrigation lines will be used for irrigation purposes only and as such, unless special arrangements are made with the District, construction will not be allowed. For all construction work involving pipelines used to convey stormwater, the contractor shall complete all such construction in a timely and diligent manner without restricting the normal flow of water within the line.
- Used materials, rejects, misfits, or seconds, etc. are not acceptable for use on District facilities.
- Waterstop R/X or equivalent shall be used at all cold joints. A 6" thick by 8" long concrete overlap will be required at all cold joints occurring during the placement of the cast-in-place pipe used for irrigation lines. (Cold joints include fresh concrete which has been allowed to set for more than 30 minutes).
- All irrigation boxes shall be formed inside and out and concrete vibrated sufficiently to provide for smooth surfaced walls without voids and honeycombs.
- South San Joaquin Irrigation District shall inspect all work phases on irrigation facilities for conformance to District specifications. Reinforcing shall not be encased in concrete without prior District inspection. Likewise, concrete shall not be covered with earth prior to District inspection.
- District shall be provided with name, address, and phone number of contractors, subcontractors, etc. responsible for work being performed on District facilities. Also, provide name and number of contact person responsible for overseeing all phases of construction.
- The contractor hereby agrees to make, at his own expense, all repairs or replacements necessitated by defects in materials or workmanship, supplied for District facilities, and pay for any damage to other works resulting for such defects which become evident within 1 year after the date of final acceptance of work. The contractor further agrees to hold the District harmless from liability of any kind arising from damage due to said defects. The contractor shall make all repairs and replacements promptly upon written order from the District.
- The contractor will be responsible for the repairs of all pipeline cracks which develop during construction of improvements affecting the pipeline.
- The contractor shall not leave District pipeline projects incomplete for more than two weeks. When conditions require, contractor shall provide a temporary diversion ditch to provide for irrigation water delivery or stormwater removal.
- WATERSTOP R/X:** Waterstop R/X shall be installed in accordance with installation instructions recommended by the manufacturer. Waterstop R/X shall be held snugly in-place with plastic or metal netting or other non-biodegradable material of similar construction. A sample of the netting material proposed to be used shall be submitted with written application to the South San Joaquin Irrigation District for its approval a minimum of one week prior to installation. No substitutions of netting material will be permitted without the advance written approval of the District's Engineering Department Head.
- USE OF PUBLIC UTILITY EASEMENTS:** South San Joaquin Irrigation District has been granted an exclusive easement for its use and disposition. The Public Utility Easement (PUE) may be permitted to overlap the South San Joaquin Irrigation District easement either above or below ground where written permission of South San Joaquin Irrigation District is obtained prior to construction and after written application. Furthermore, transformers, panel boxes, meter installations, pull boxes, and other utility company facilities of the PUE or any other which, in anyway, are perceived by South San Joaquin Irrigation District as obstructing its easy access and/or making its easements or systems maintainability, repair, and replacement more complex and costly are prohibited.
- TIME LIMITS FOR DEVELOPMENT PLANS:** South San Joaquin Irrigation District has adopted "Time Limits" limiting the period of its approval should the Landowner/Developer fail to substantially complete his development project in a timely manner and as per Approved Development Plans. These "Time Limits" adopted by South San Joaquin Irrigation District are in most cases equal to those utilized by the governmental agency or institution responsible for development approvals. Should the "Time Limit" be exceeded, South San Joaquin Irrigation District reserves the right to then apply any of its current development standards and requirements.
- Contractor shall pump South San Joaquin Irrigation District pipeline dry prior to excavation underneath it.



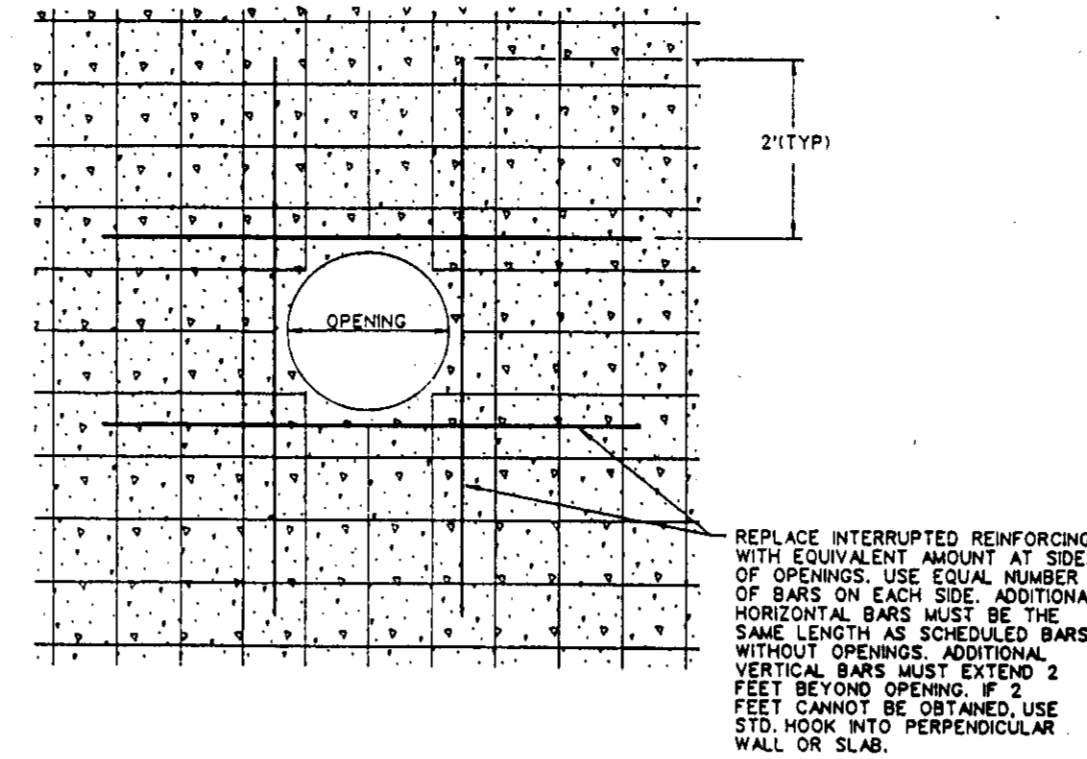
REINFORCING BAR SCHEDULE		
BAR	SIZE	DESCRIPTION
"A"	2 - #4	30" PIPE 36" PIPE 42" PIPE
"B"	#4	43" DIA. 50" DIA. 57" DIA.
		9 EA. 10 EA. 12 EA.

NOTE: ALL "B" BARS TO BE EVENLY SPACED OVER HOOPS

NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1	RAY HELLSTROM	7-22-92		

CONCRETE COLLAR FOR LARGE DIAMETER PIPE  
SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
STANDARD NO. 2.02

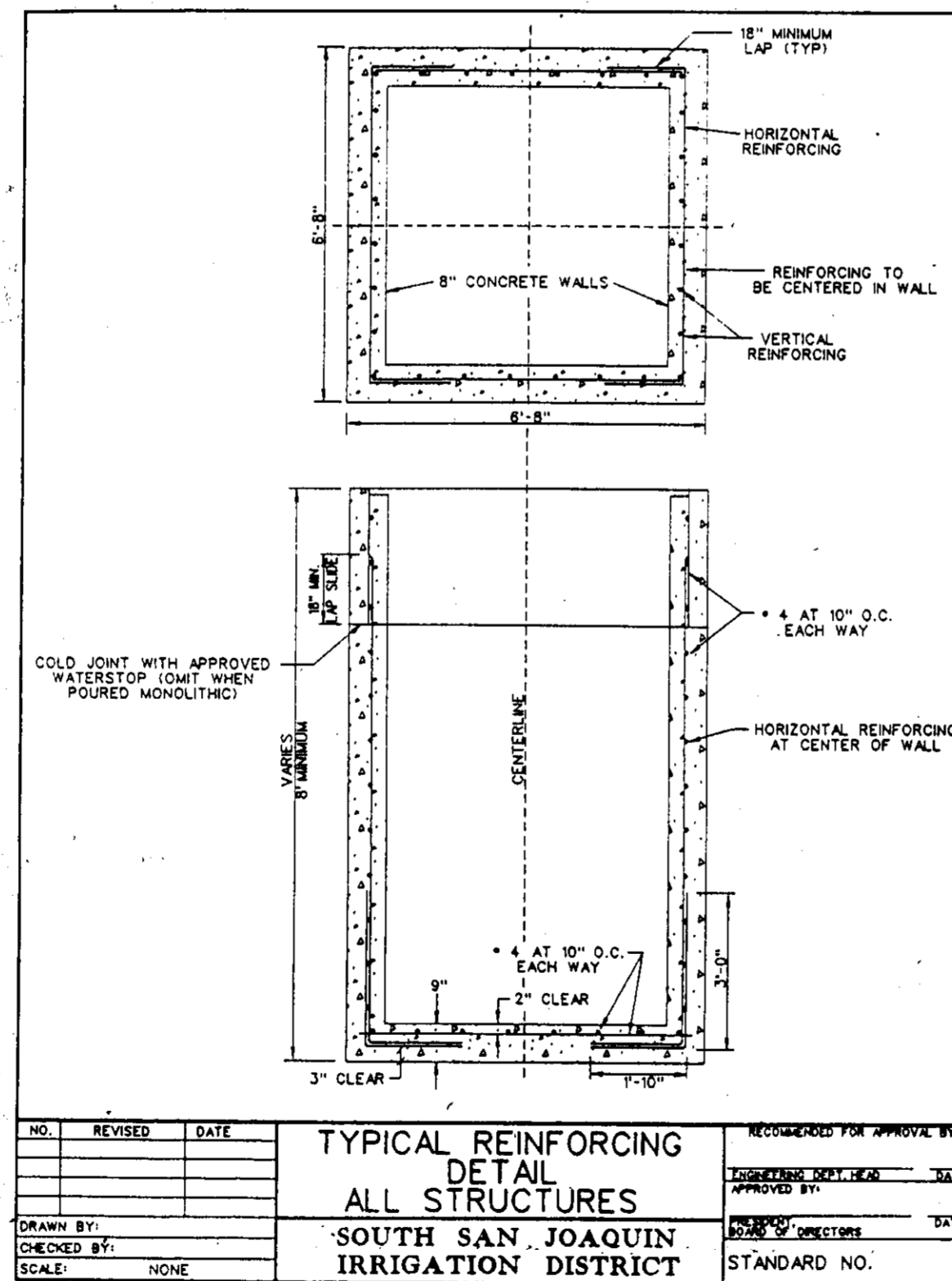
DETAIL 1/6



NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1				

TYPICAL OPENING REINFORCING DETAIL FOR ALL STRUCTURES  
SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
STANDARD NO.

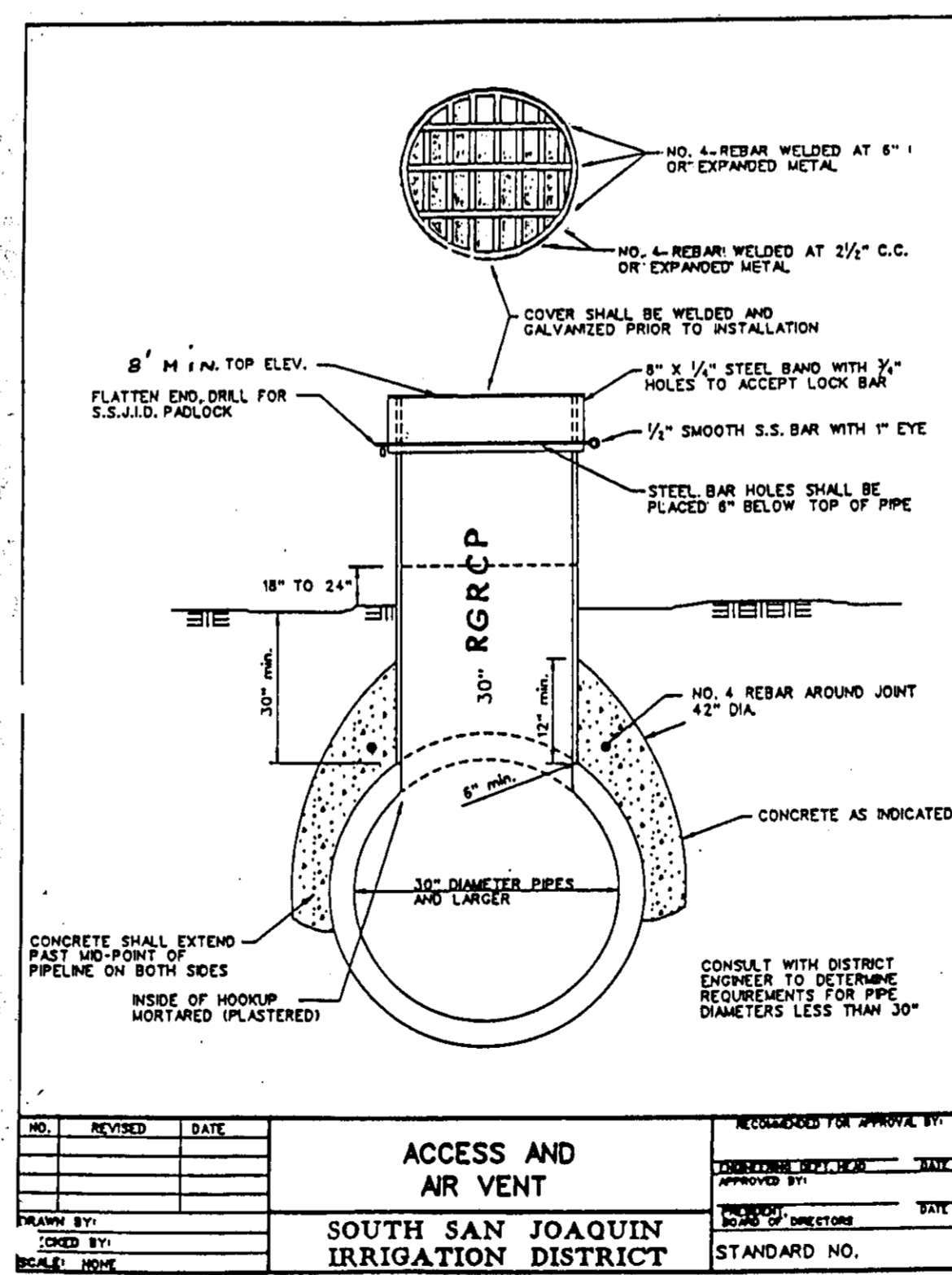
DETAIL 2/6



NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1				

TYPICAL REINFORCING DETAIL ALL STRUCTURES  
SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
STANDARD NO.

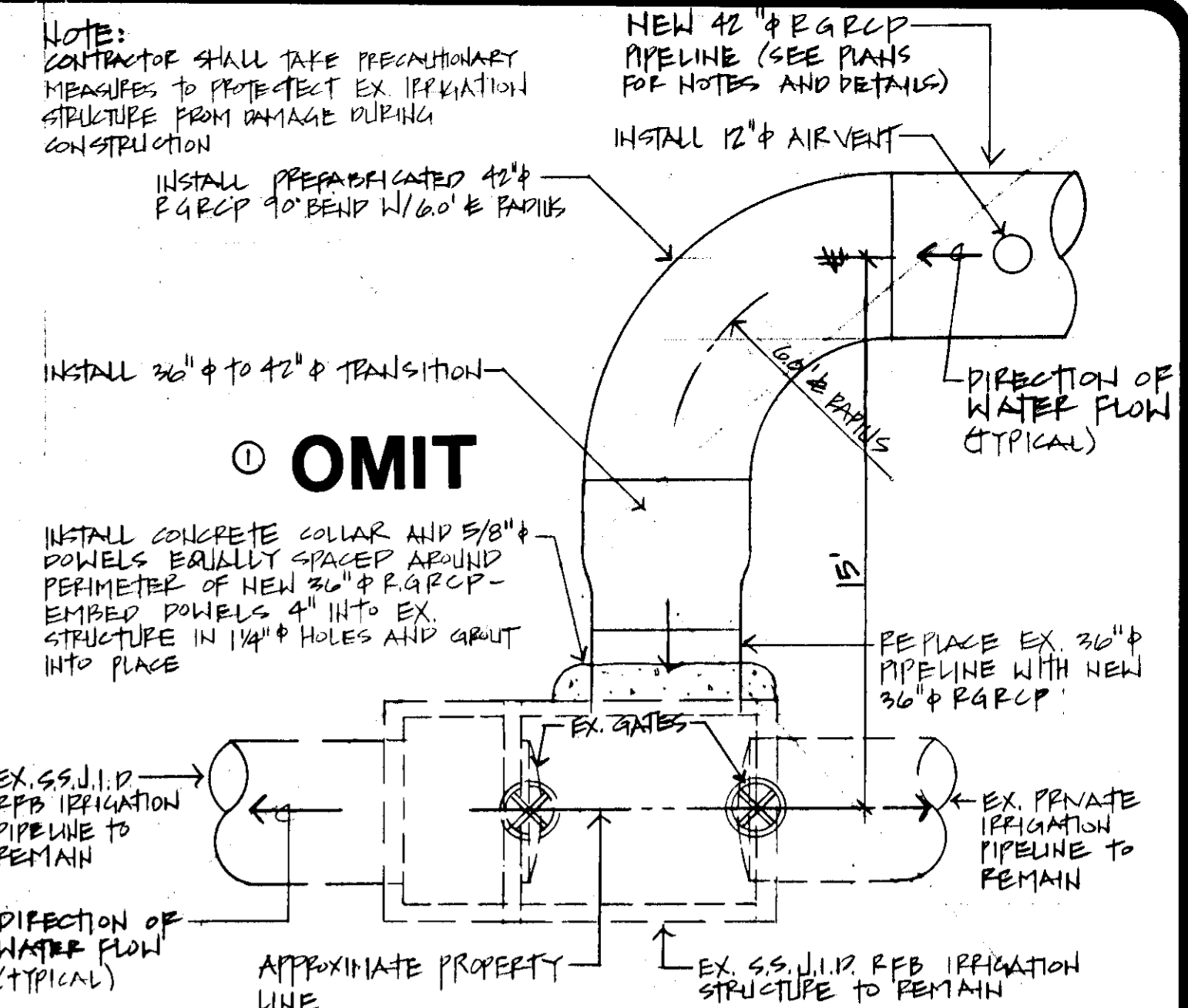
DETAIL 4/6



NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1				

ACCESS AND AIR VENT  
SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
STANDARD NO.

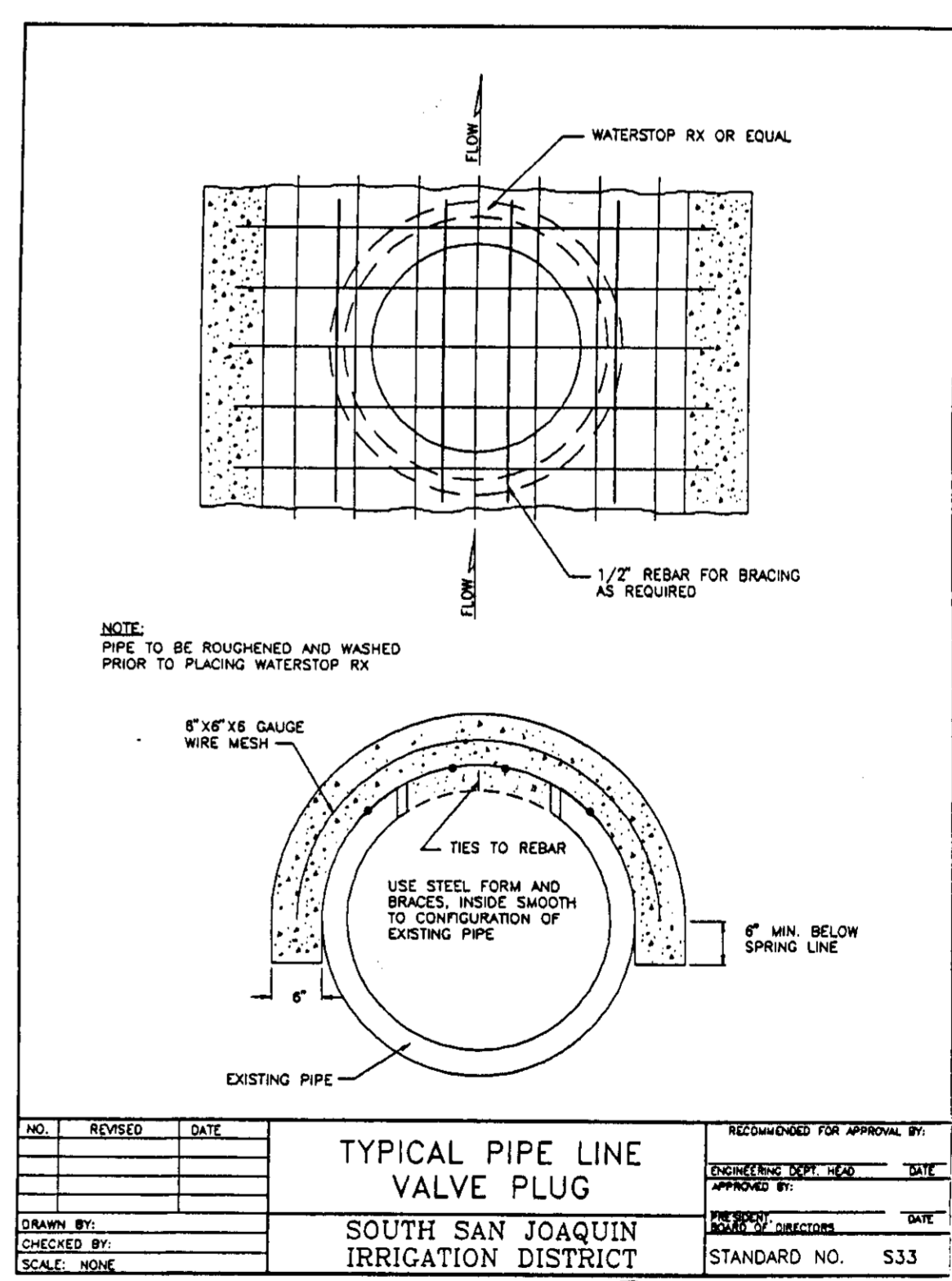
DETAIL 5/6



NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1				

DETAIL 3/6

DETAIL 3/6



NO.	REVISED	DATE	RECOMMENDED FOR APPROVAL BY	APPROVED BY
1				

TYPICAL PIPE LINE VALVE PLUG  
SOUTH SAN JOAQUIN IRRIGATION DISTRICT  
STANDARD NO. 533

DETAIL 6/6

S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.

SO CONDITIONALLY APPROVED: *[Signature]*  
DATE: 5-18-92

APPROVED BY	DATE
RAY HELLSTROM	JUL 1992

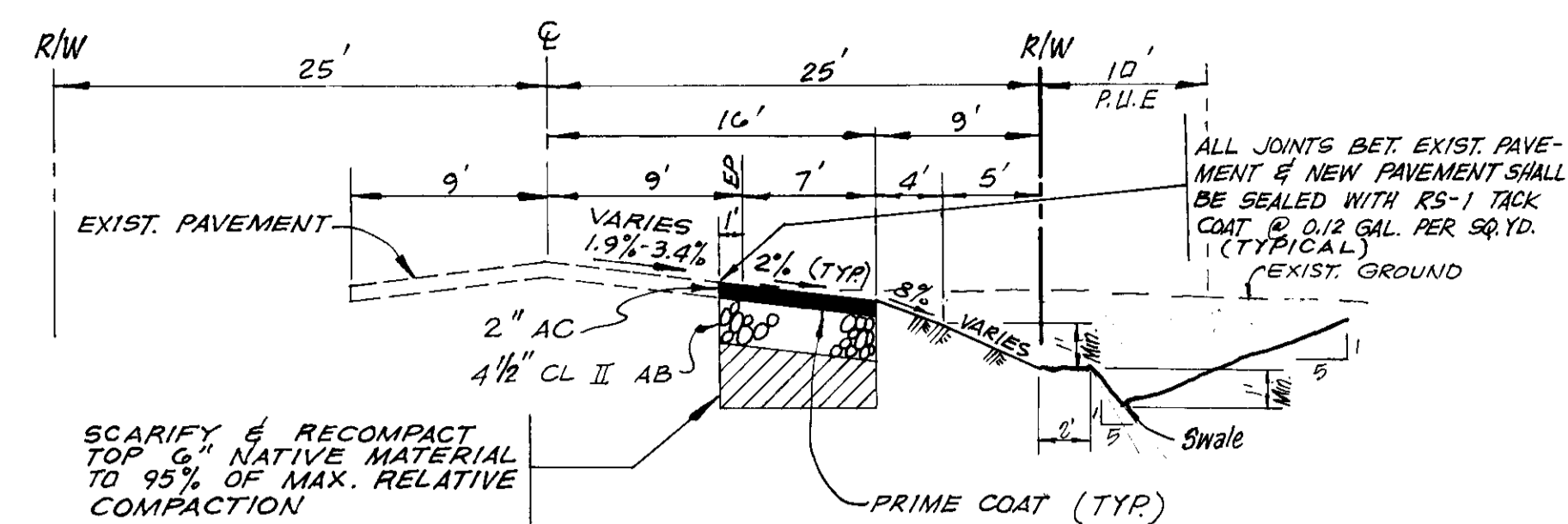
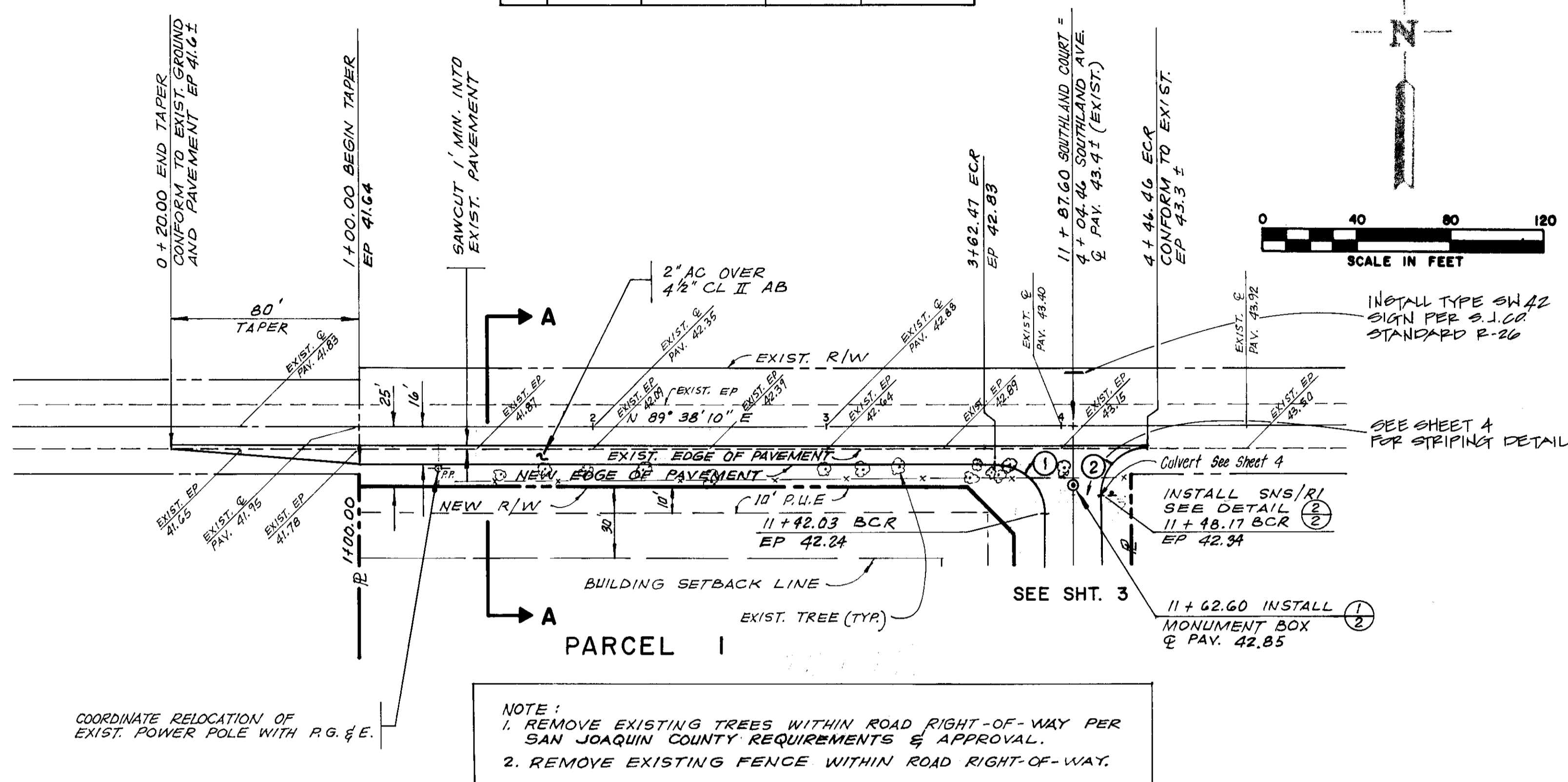
IMPROVEMENT PLANS FOR SOUTHLAND COURT  
SAN JOAQUIN COUNTY, CALIFORNIA

QUARTAROLI & ASSOCIATES  
LAND SURVEYING LAND PLANNING ENGINEERING  
(209) 239-4908  
310 SUN WEST PLACE, SUITE "A", MANTECA, CA. 95836

DATE	DRAWN BY	CHECKED BY	JOB NO.	SHEET
APRIL 1992	STAFF	ALL	90-165	6

OF 7 SHEETS

CURVE DATA				
No.	R	Δ	L	DESCRIPTION
1	30'	91° 32' 25"	47.99'	EP
2	30'	88° 27' 35"	46.32'	EP



R = 50  
T.I. = 5

SECTION "A-A"  
NOT TO SCALE

PAVEMENT ALTERNATE:  
4" AC over  
Compacted Native Material w/  
MC 70 Prime Coat applied  
48 hours (min.) prior to  
paving

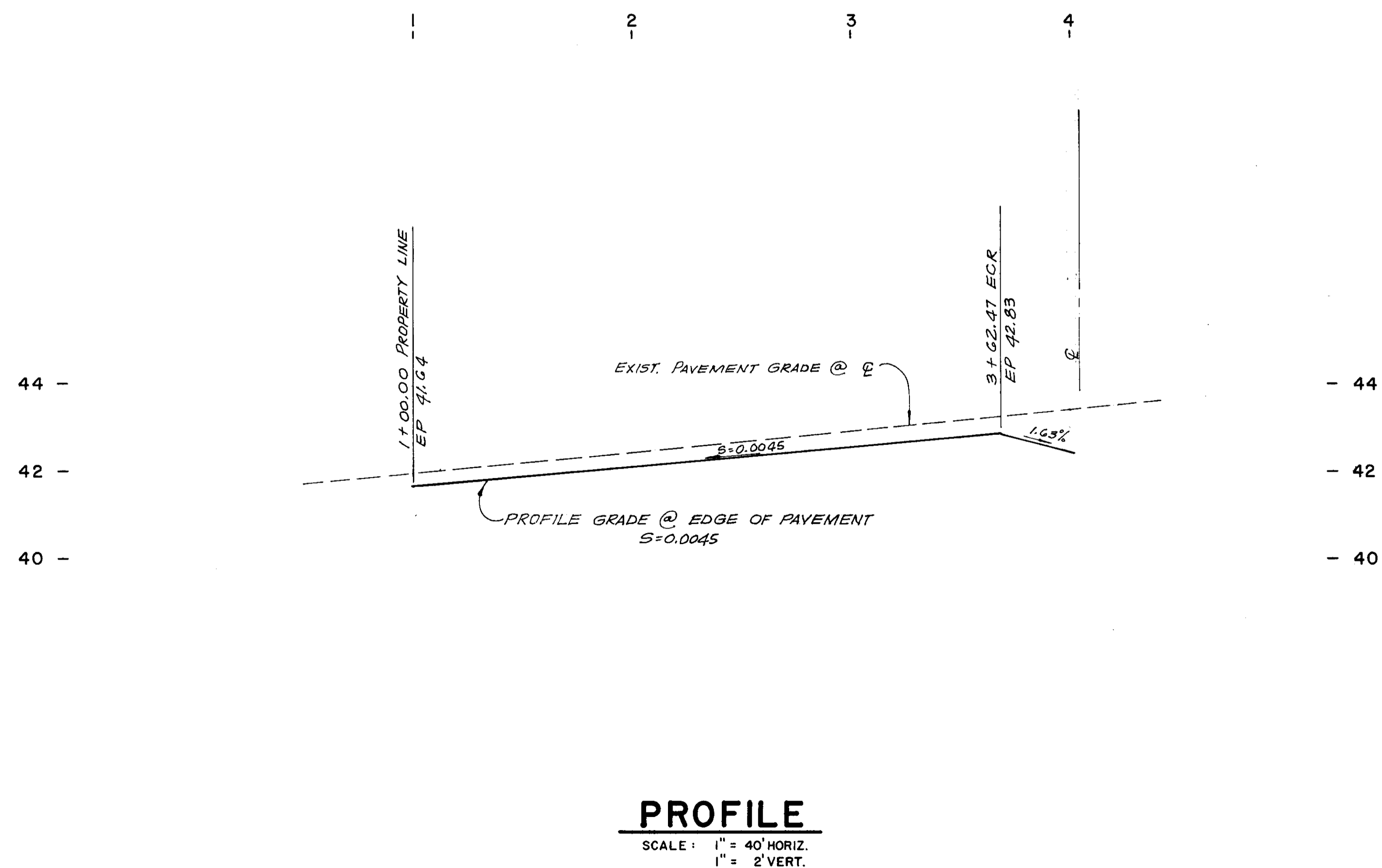
RECORD DRAWING

12-18-95

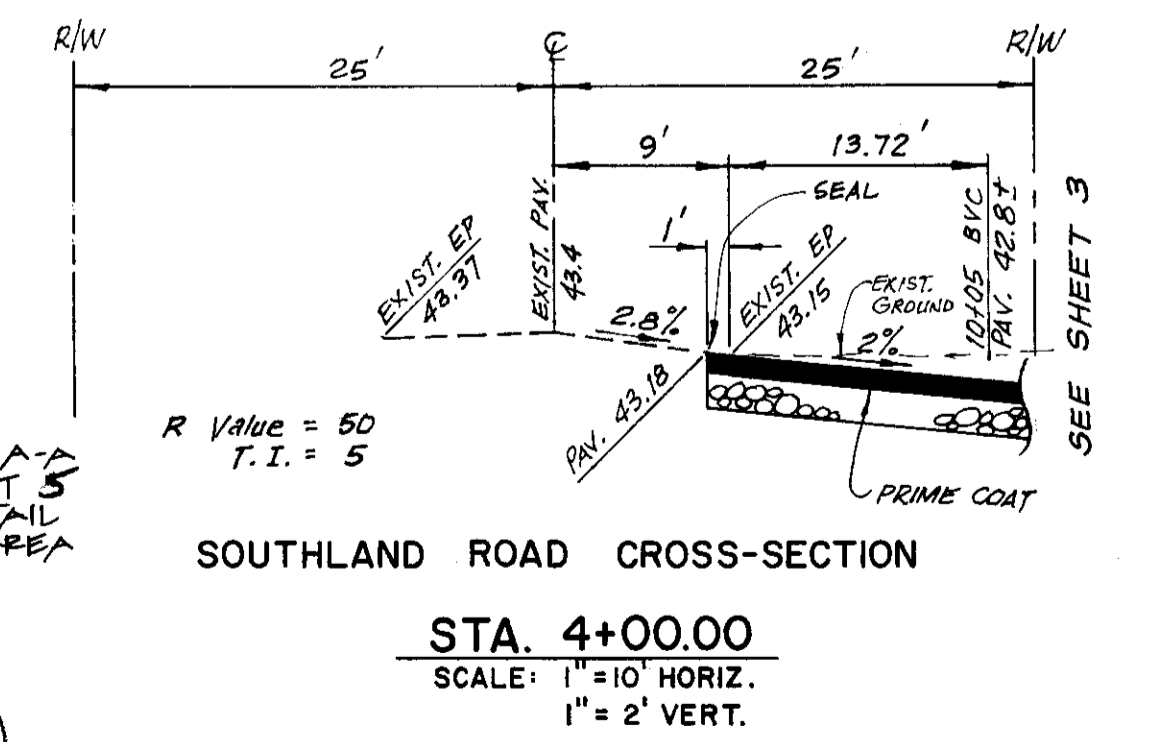
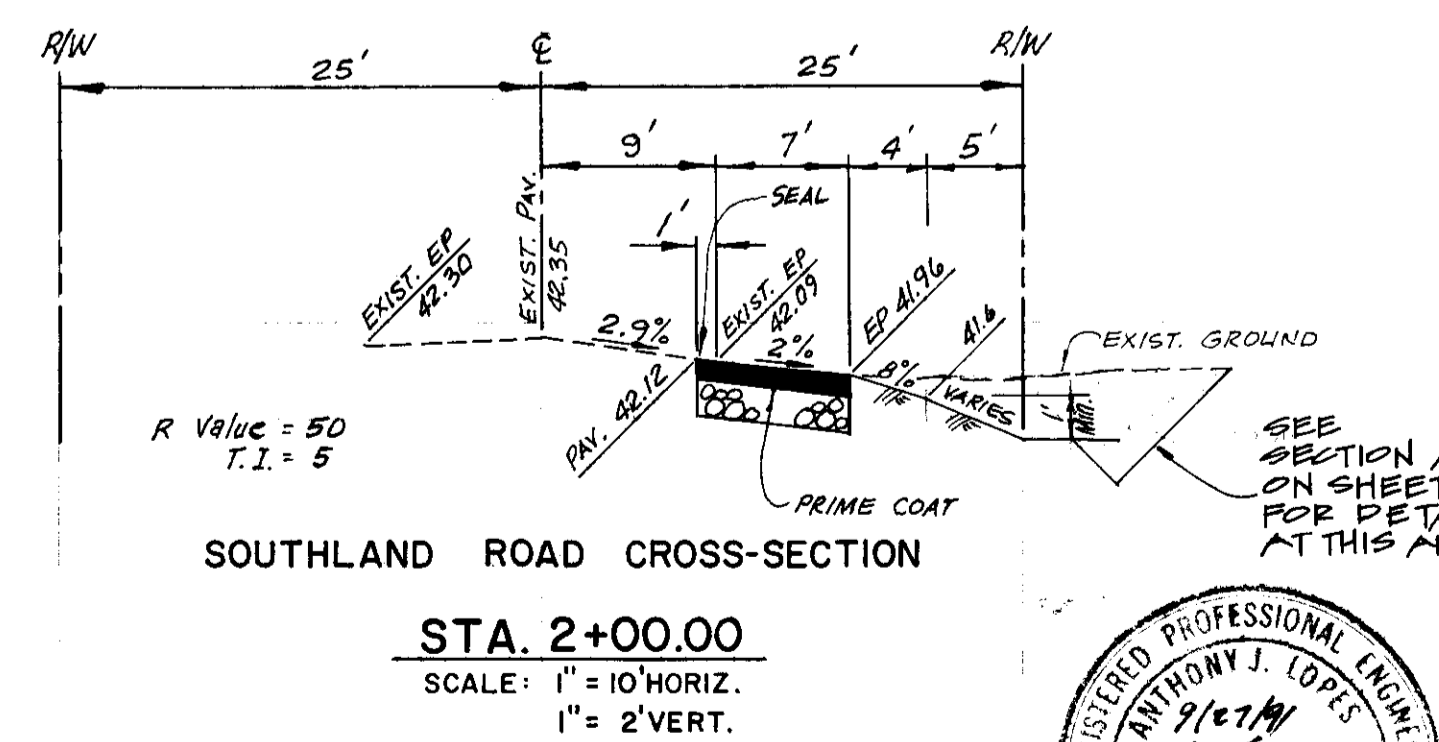
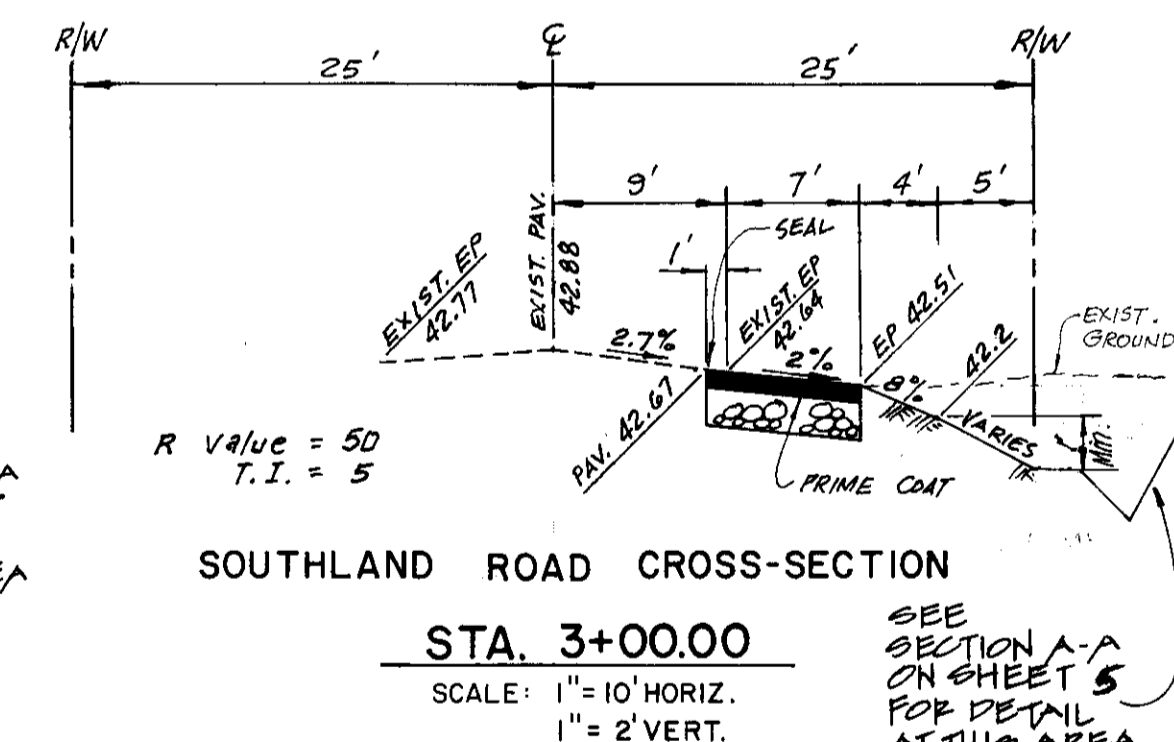
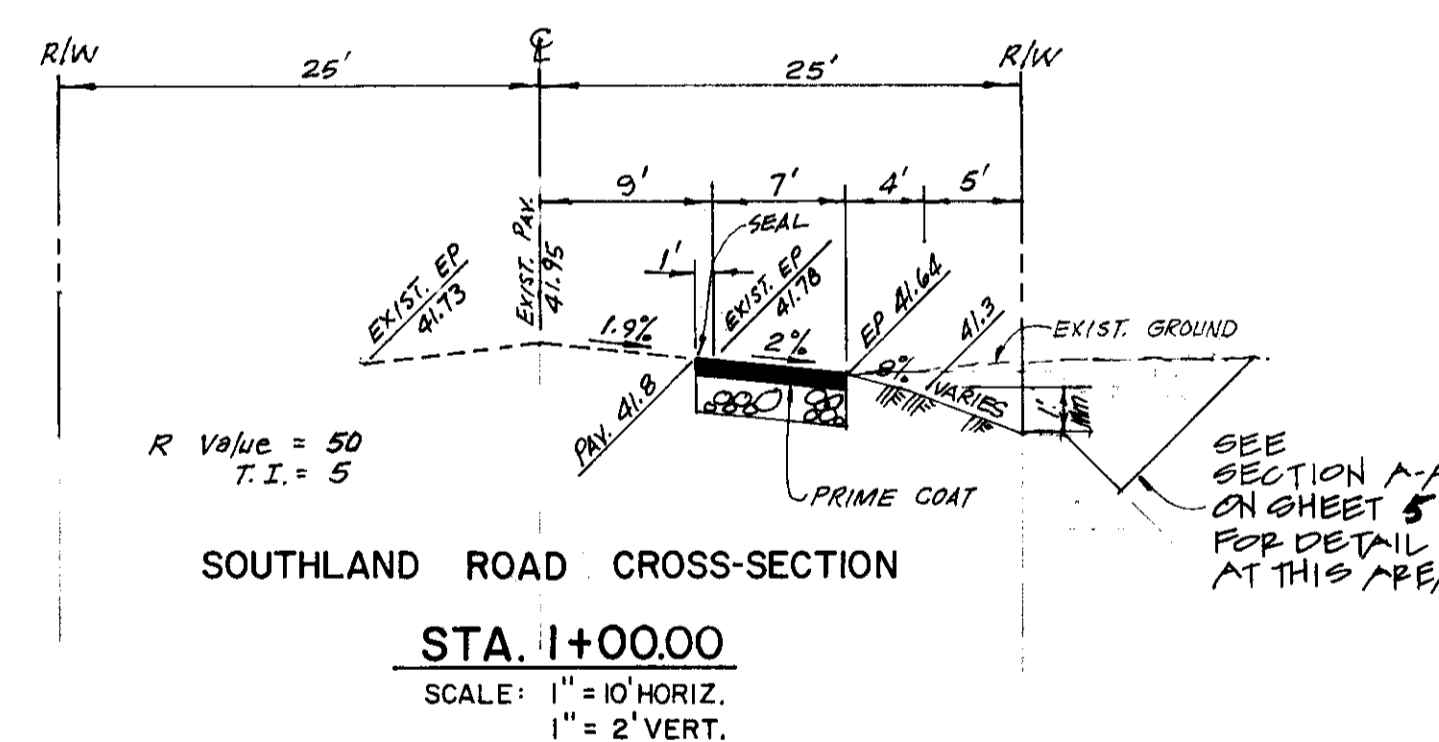
S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.

SO CONDITIONALLY APPROVED: [Signature]  
DATE: 5-18-92

SOUTHLAND ROAD



PROFILE  
SCALE: 1" = 40' HORIZ.  
1" = 2' VERT.



REGISTERED PROFESSIONAL ENGINEER  
ANTHONY J. LOPEZ  
Exp. State: 1992  
CIVIL  
STATE OF CALIFORNIA

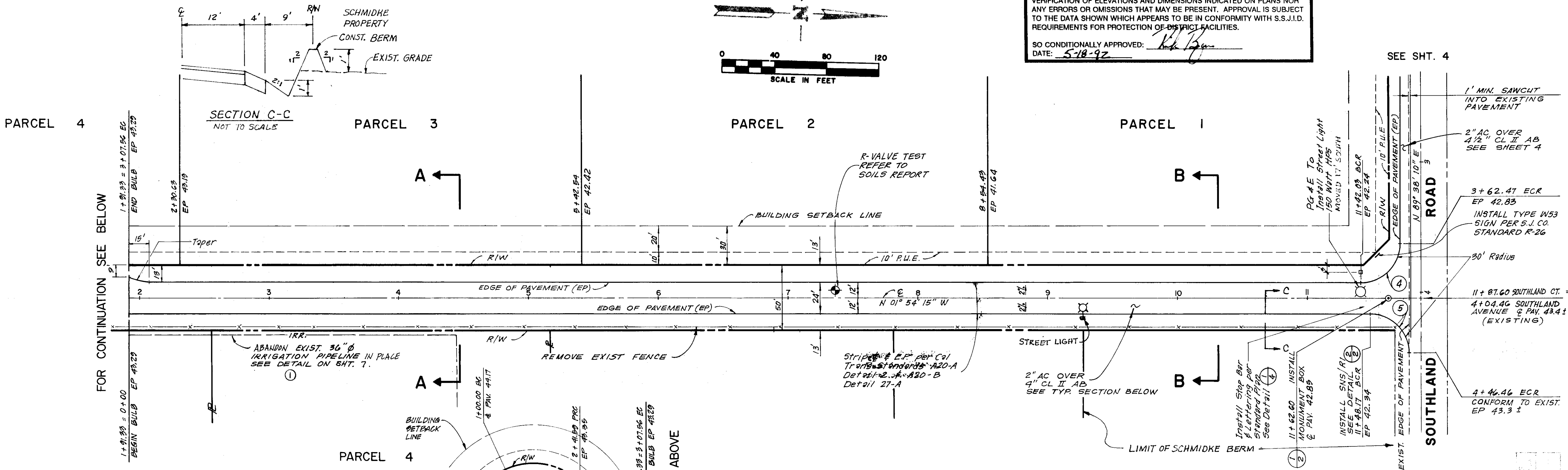
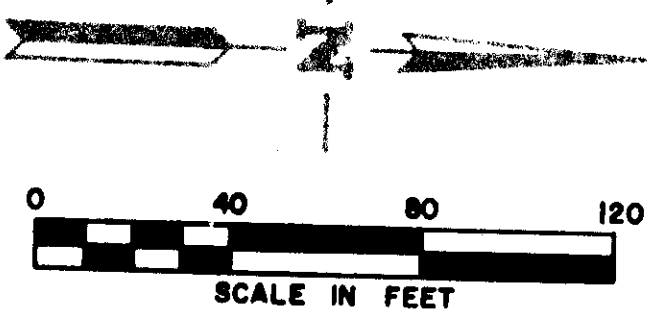
RDC	AJL	5079-96	SEPT. 1991
RDC	AJL		6-4238

PLAN & PROFILE  
SOUTHLAND ROAD  
SAN JOAQUIN COUNTY, CALIFORNIA

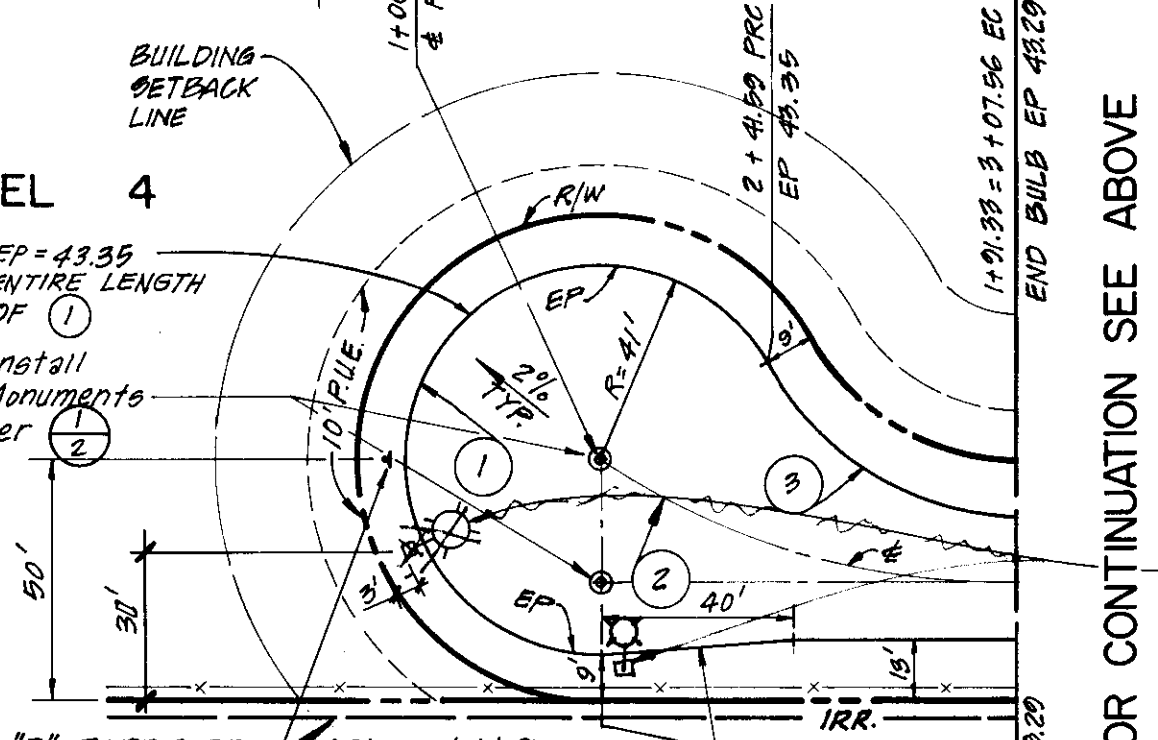
SEPT. 1991  
RDC  
AJL  
90-165

S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.

SO CONDITIONALLY APPROVED: *[Signature]*  
 DATE: 5-18-97

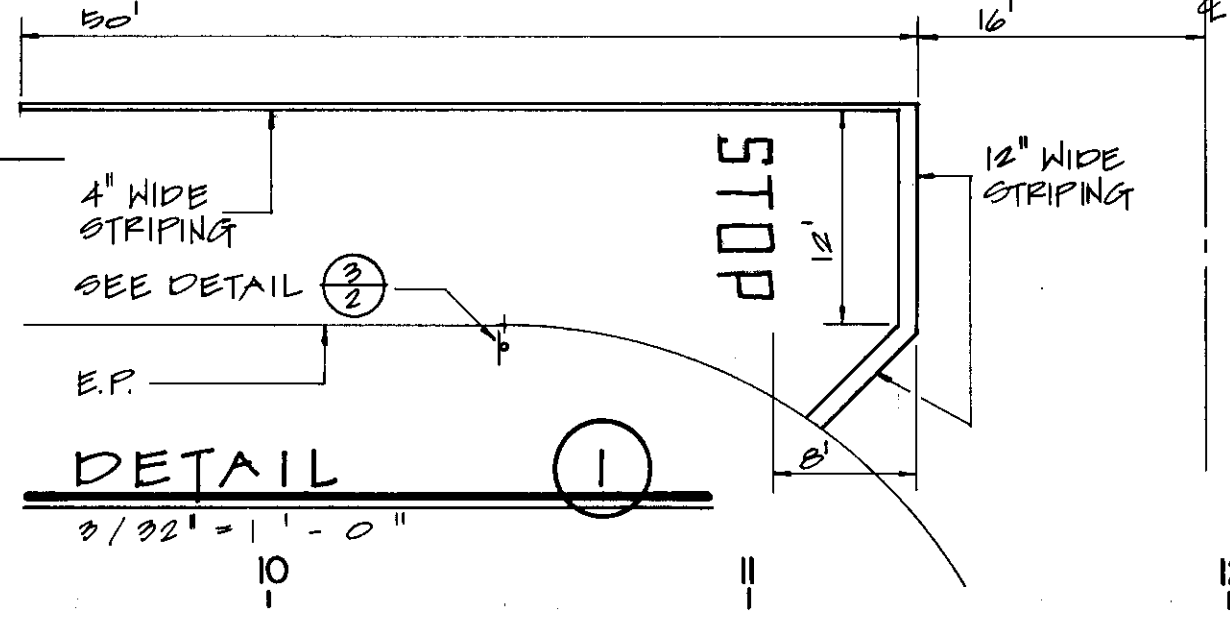


No.	R	Δ	L	DESCRIPTION
1	41'	240° 00' 00"	171.75'	EP
2	162.5'	32° 12' 11"	91.33'	E
3	59'	60° 00' 00"	61.70'	EP
4	30'	91° 32' 25"	47.93'	EP
5	30'	88° 27' 35"	46.32'	EP

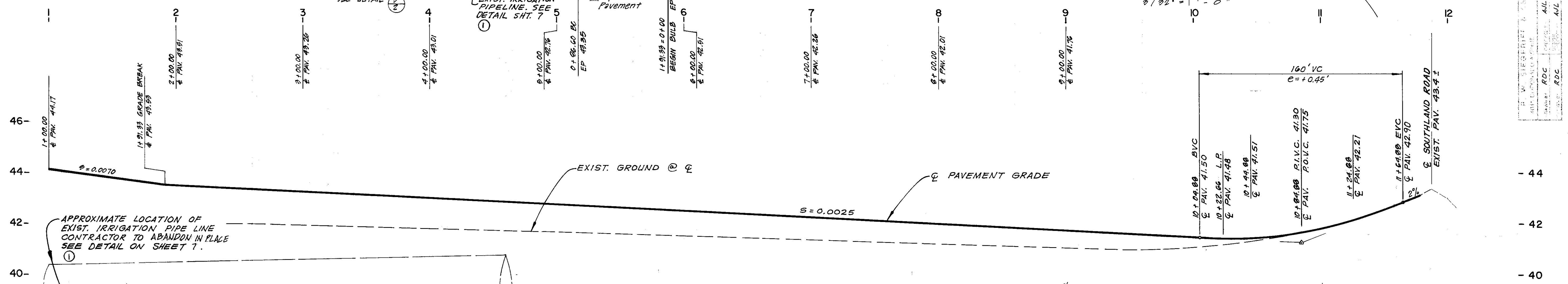


# SOUTHLAND COURT

RECORD DRAWING  
 12.18.95

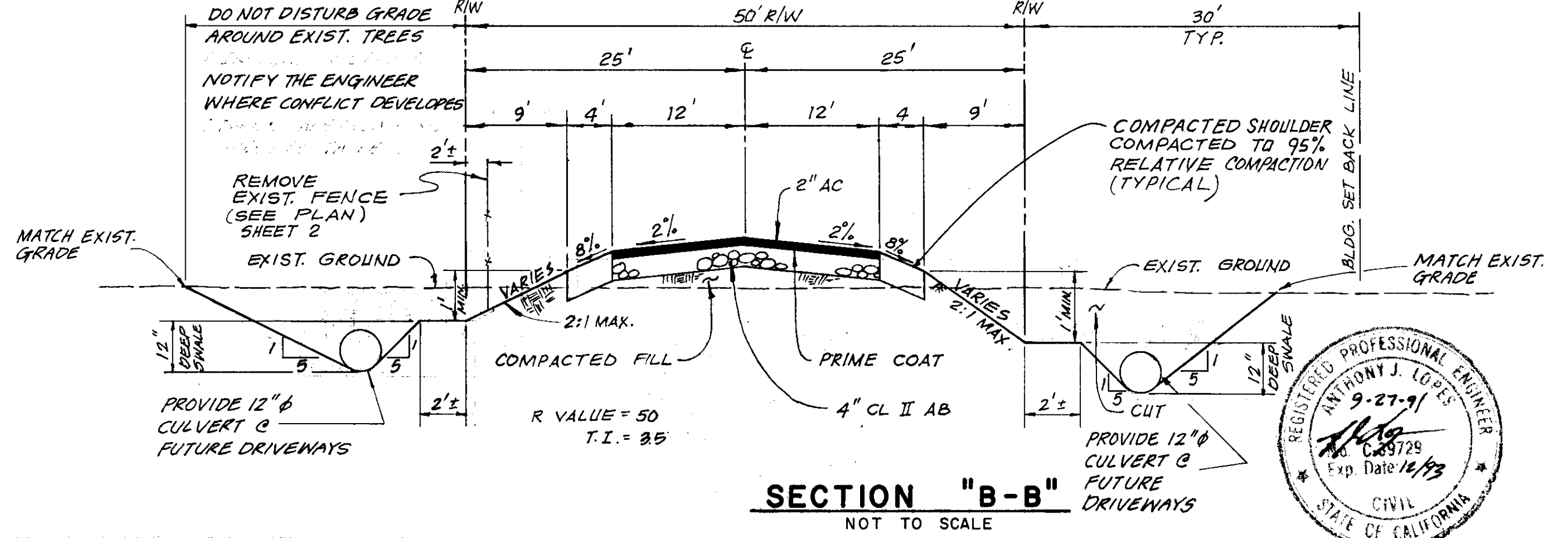
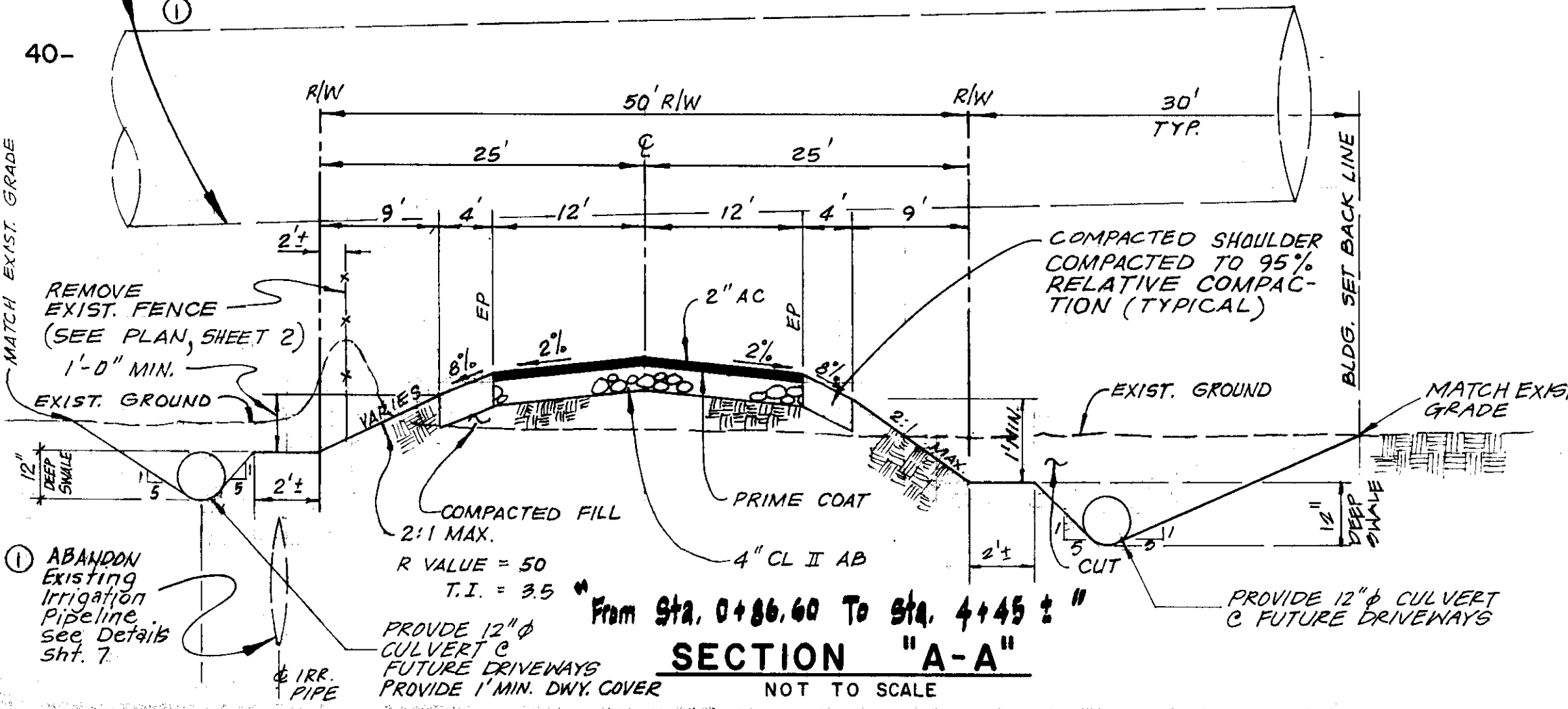


DATE: 5-18-97  
 AIL: 5074-94  
 RDC: 42338  
 AIL: 5074-94  
 RDC: 42338



**ALTERNATE PAVEMENT SECTION**  
 2" AC OVER COMPACTED NATIVE MATERIAL W/ MC-10 PRIME COAT APPLIED 48 HOURS MIN. PRIOR TO PAVING.

**PROFILE**  
 SCALE: 1" = 40' HORIZ.  
 1" = 2' VERT.

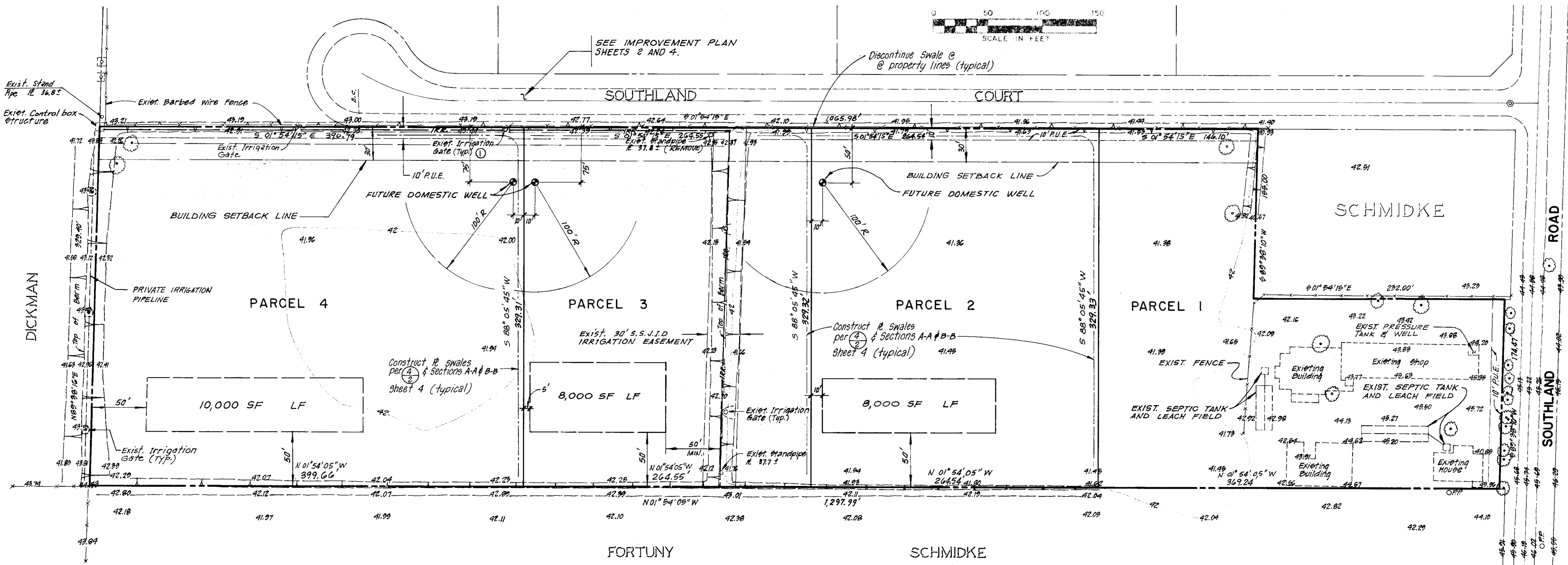
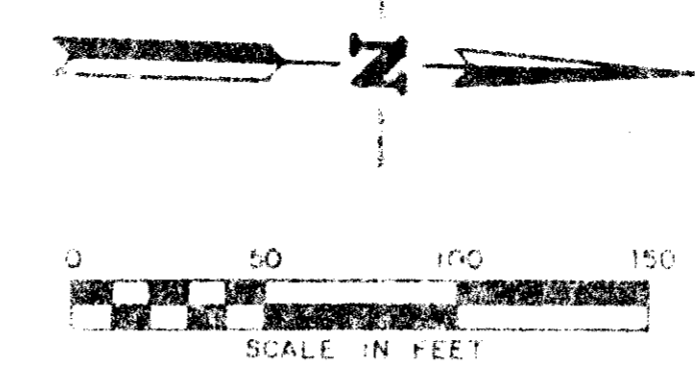


REGISTERED PROFESSIONAL ENGINEER  
 MONTY J. LOPEZ  
 9-27-91  
 1100  
 Exp. Date 12/93  
 CIVIL  
 STATE OF CALIFORNIA

IMPROVEMENT PLANS FOR  
**SOUTHLAND COURT**  
 PLAN AND PROFILE  
 SAN JOAQUIN COUNTY, CALIFORNIA

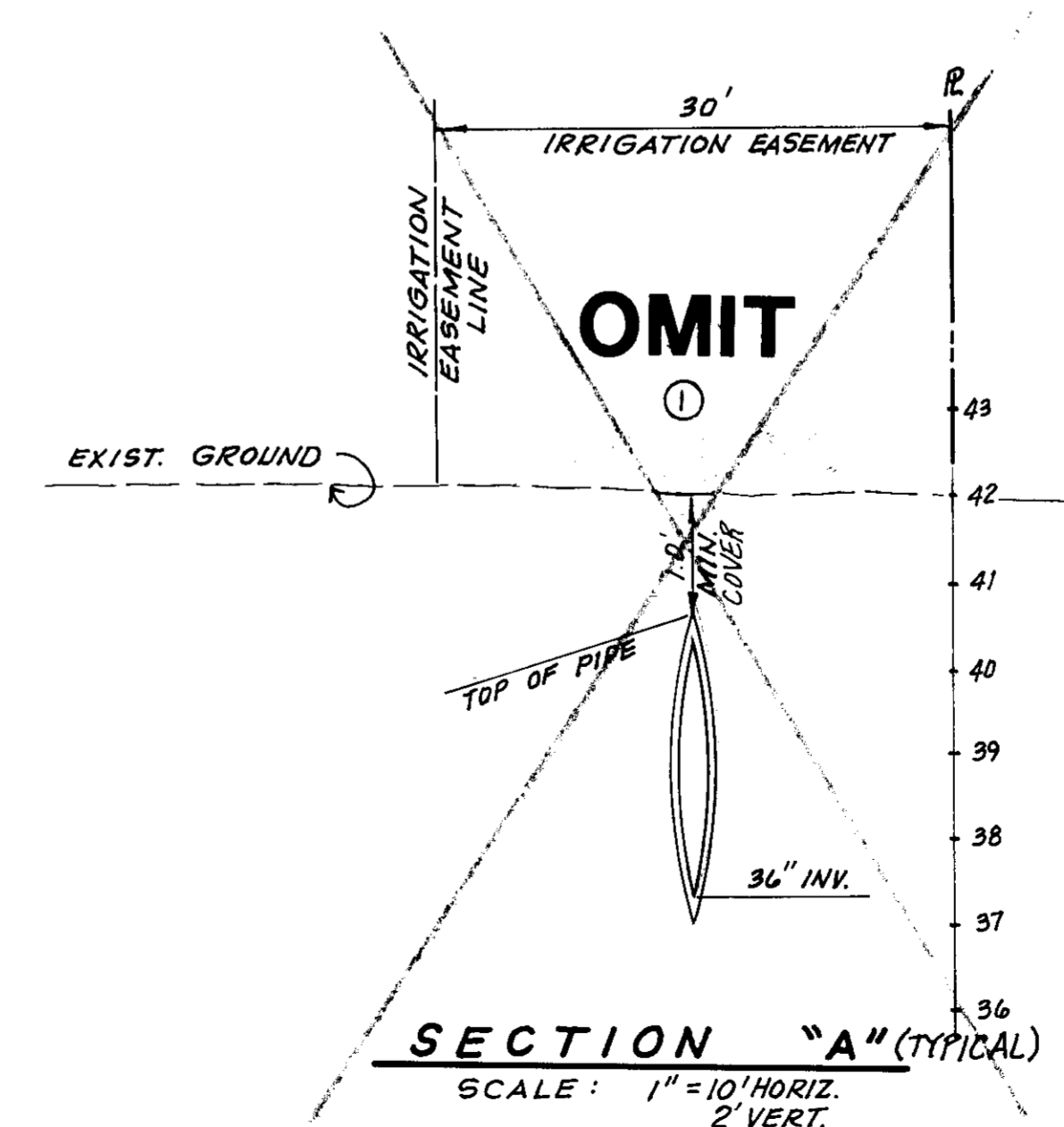
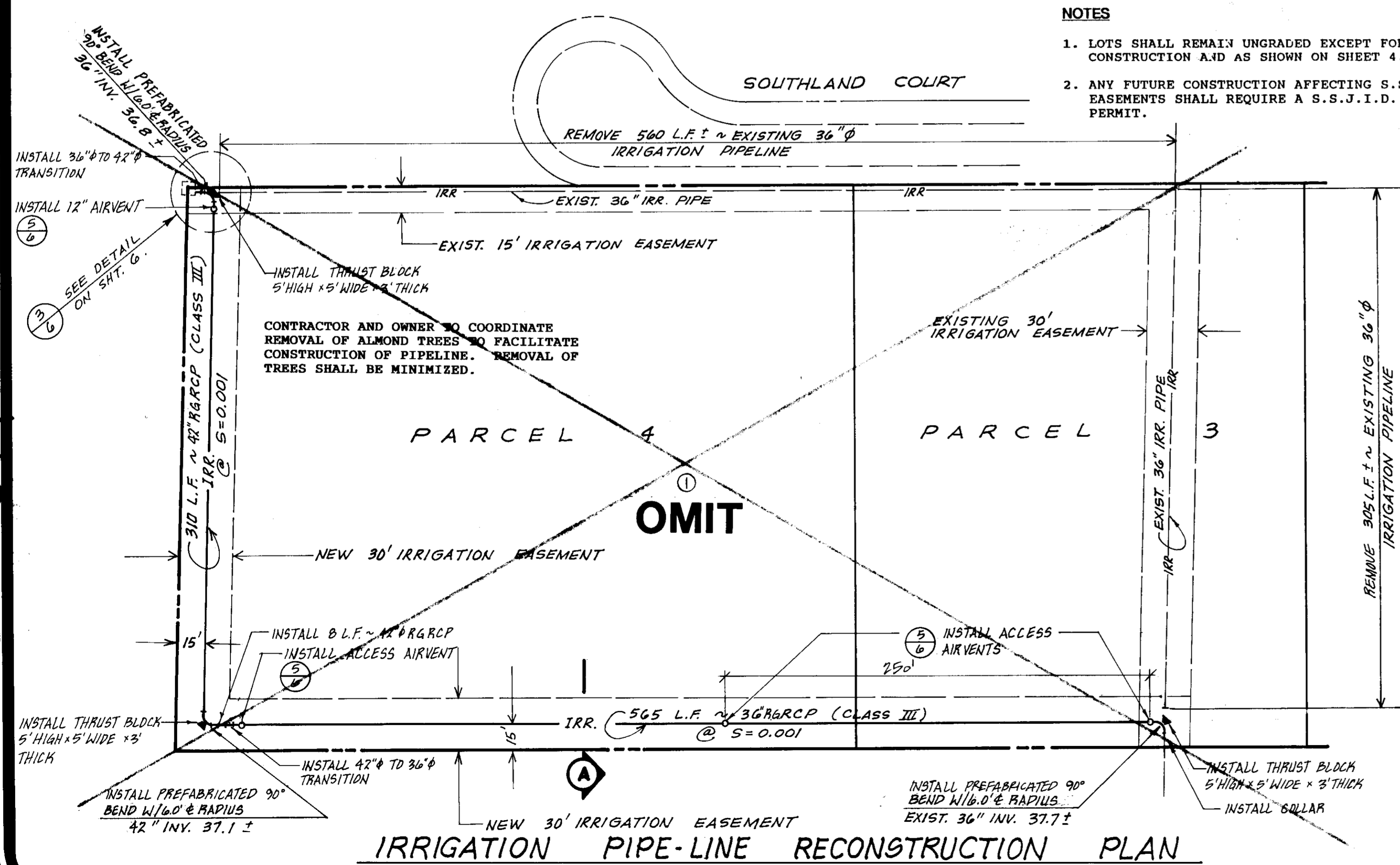
SEPT. 1991  
 RDC  
 A.J.L.  
 90-165

EACH NEW SINGLE FAMILY RESIDENCE SHALL INSTALL A FIRE PROTECTION SPRINKLER SYSTEM PER NATIONAL FIRE PROTECTION STANDARDS.

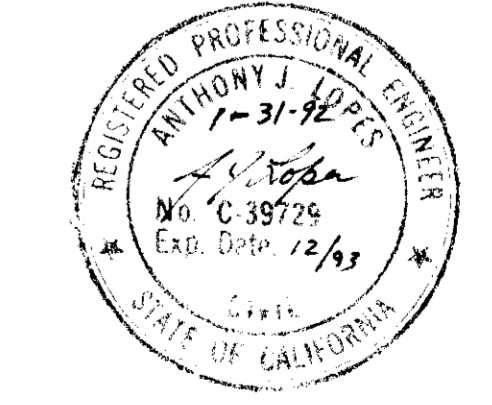


NOTES

1. LOTS SHALL REMAIN UNGRADED EXCEPT FOR SWALE CONSTRUCTION AND AS SHOWN ON SHEET 4.
2. ANY FUTURE CONSTRUCTION AFFECTING S.S.J.I.D. EASEMENTS SHALL REQUIRE A S.S.J.I.D. ENCROACHMENT PERMIT.



RECORD DRAWING  
MCO  
12.18.95



S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.  
SO CONDITIONALLY APPROVED: *[Signature]*  
DATE: 5-18-95

STAFF	AJL	5679-102	JAN. 1992
STAFF	AJL		6-4238

APPROVED BY	
BY	M/L
REVISIONS	
DATE	5/23/92
	(1) IRRIGATION PIPELINE U/L

SOUTHLAND COURT  
GRADING PLAN - EAST  
SAN JOAQUIN COUNTY, CALIFORNIA

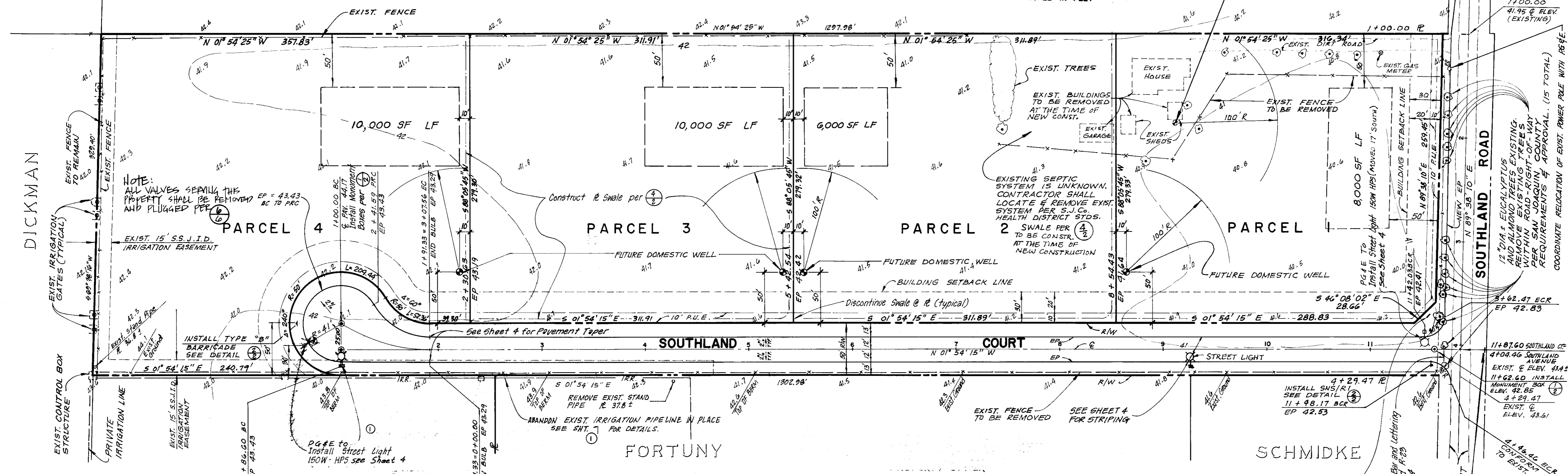
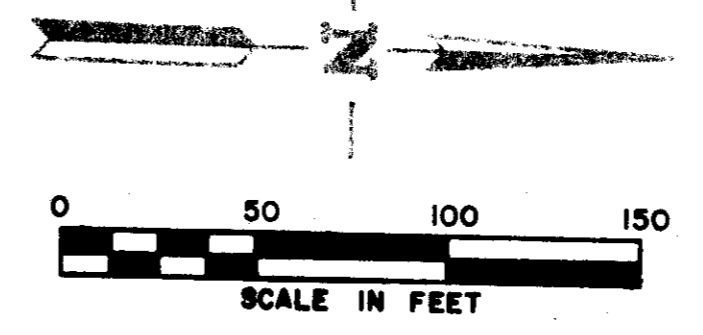
QUARTAROLI & ASSOCIATES  
LAND SURVEYING LAND PLANNING  
ENGINEERING  
(209) 239 4908  
810 SUN WEST PLACE, SUITE "A", MANTECA, CA. 95886

DATE	JAN. 1992
DRAWN BY	STAFF
CHECKED BY	AJL
JOB NO.	90-105 91-179
SHEET	3
OF	1 SHEETS

**NOTES**

1. LOTS SHALL REMAIN UNGRADED EXCEPT FOR SWALE CONSTRUCTION AND AS SHOWN ON SHEET 4.
2. ANY FUTURE CONSTRUCTION AFFECTING S.S.J.I.D. EASEMENTS SHALL REQUIRE A S.S.J.I.D. ENCROACHMENT PERMIT.

EACH NEW SINGLE FAMILY RESIDENCE SHALL INSTALL A FIRE PROTECTION SPRINKLER SYSTEM PER NATIONAL FIRE PROTECTION STANDARDS.

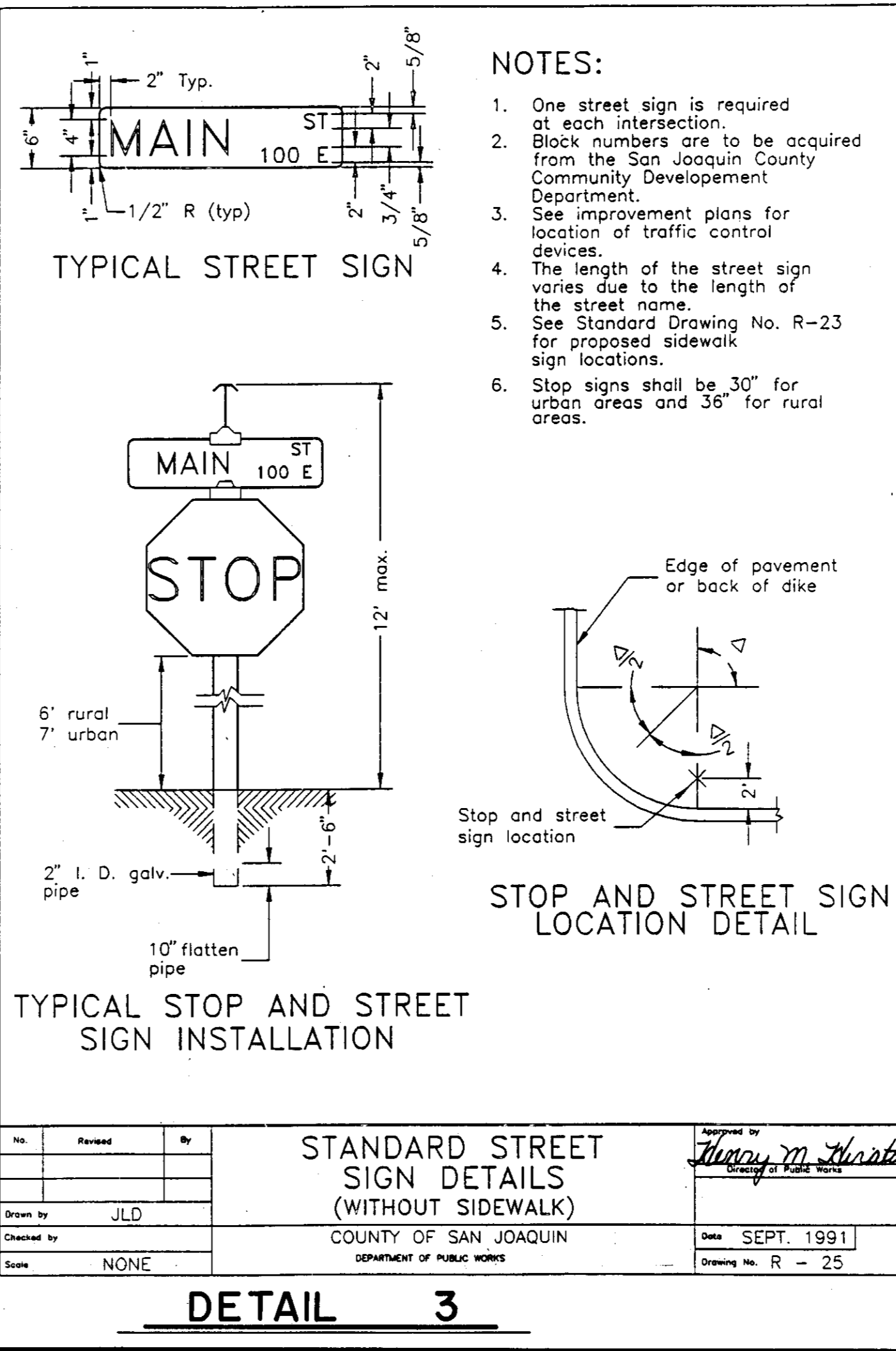
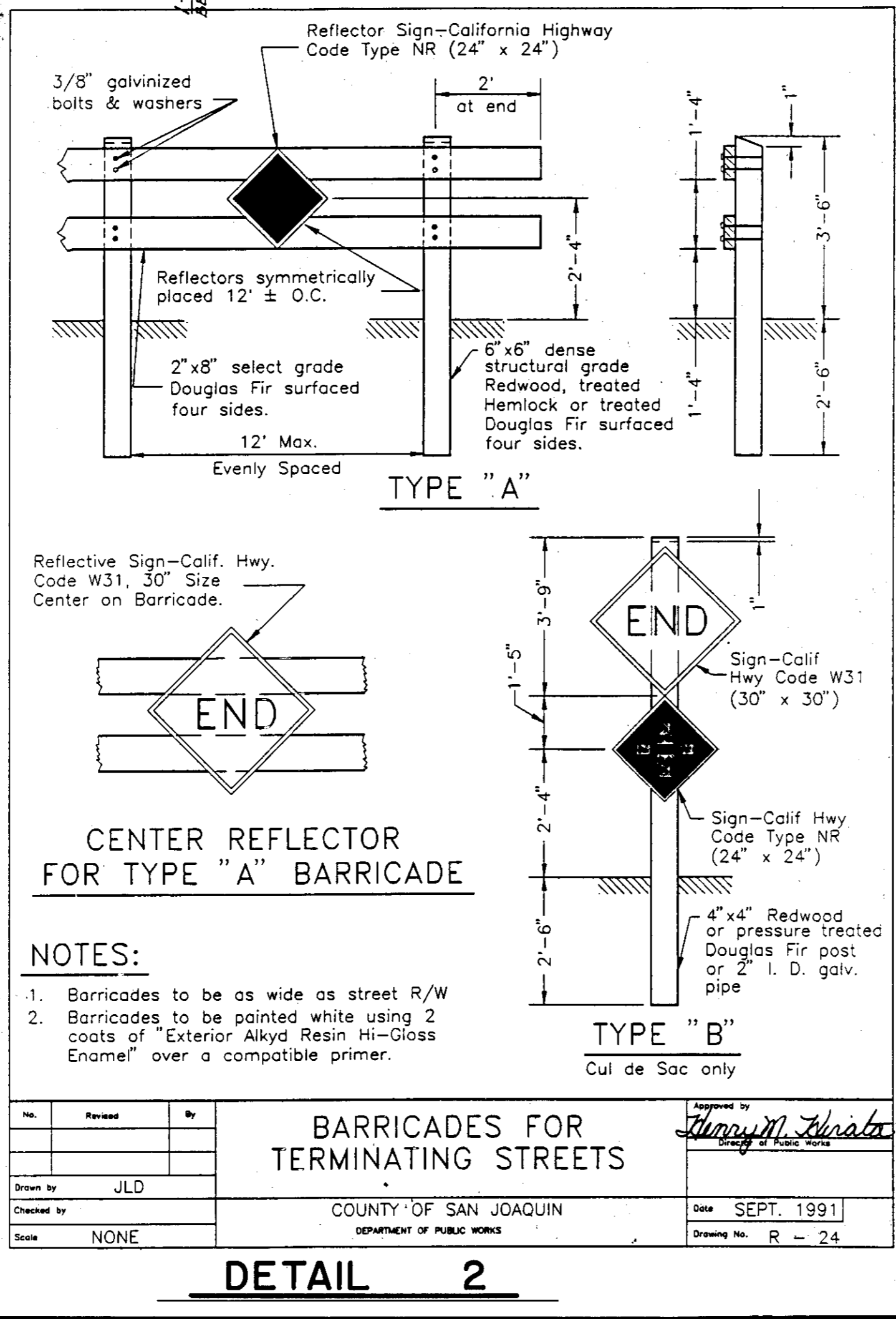
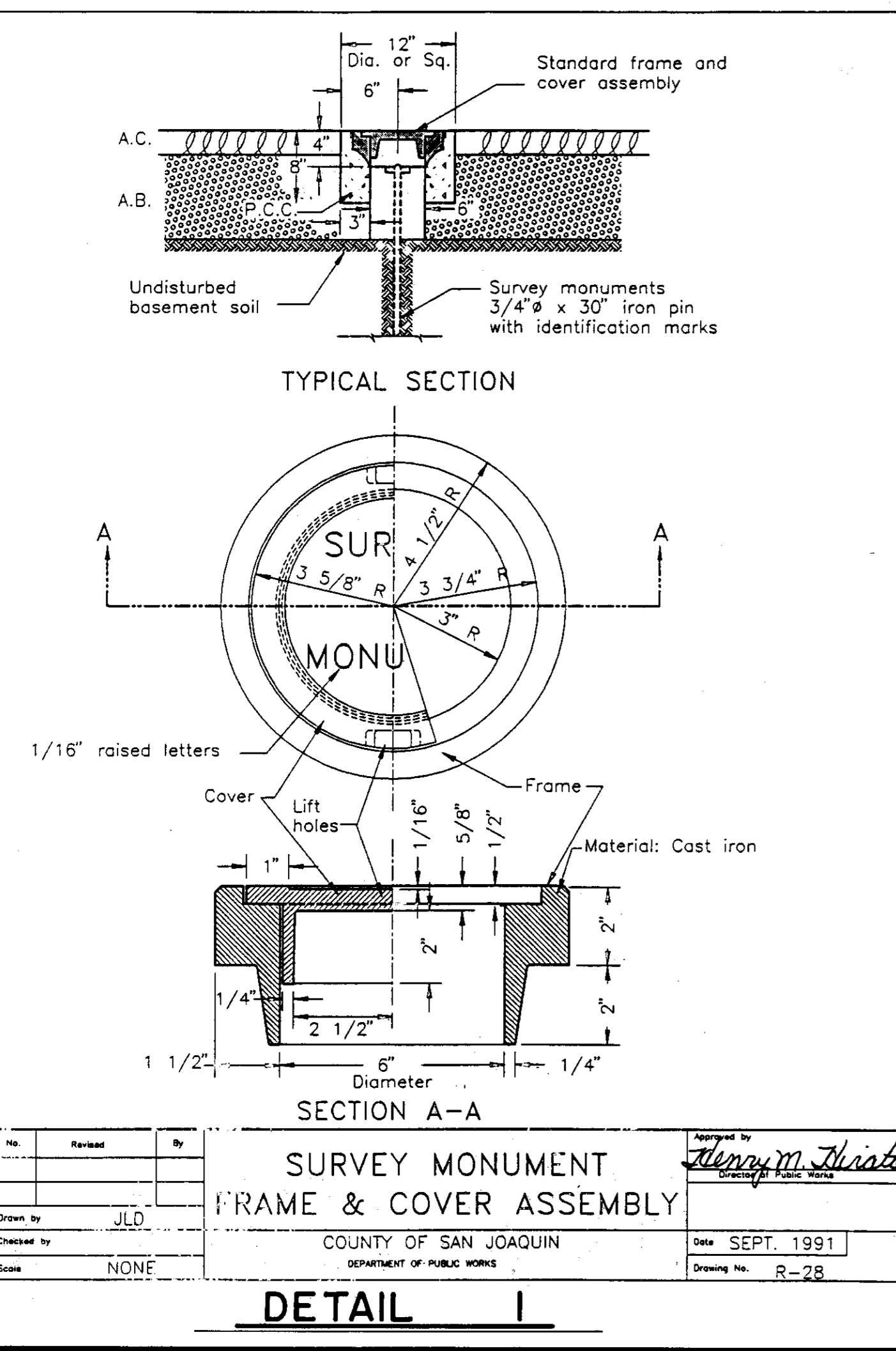


DATE	07/29/20	REVISIONS	1.1	PLAN
BY	JAN			
APP'D				

**SOUTHLAND COURT GRADING PLAN - WEST**  
SAN JOAQUIN COUNTY, CALIFORNIA

**QUARTAROLI & ASSOCIATES**  
LAND SURVEYING & LAND PLANNING  
ENGINEERING  
(209) 839-4908  
810 SUN WEST PLACE, SUITE "A", MANTECA, CA. 95886

DATE	SEPT. 1991
DRAWN BY	RDC
CHECKED BY	AJL
JOB NO.	90-165
SHEET	2
OF	7 SHEETS



**NOTES:**

1. One street sign is required at each intersection.
2. Block numbers are to be acquired from the San Joaquin County Community Development Department.
3. See improvement plans for location of traffic control devices.
4. The length of the street sign varies due to the length of the street name.
5. See Standard Drawing No. R-23 for proposed sidewalk sign locations.
6. Stop signs shall be 30" for urban areas and 36" for rural areas.

**DETAIL 4:** STOP AND STREET SIGN LOCATION DETAIL. Shows a cross-section of a street with a stop sign and street sign mounted on a post, with dimensions for sign height and placement relative to the curb and existing grade.

S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.

SO CONDITIONALLY APPROVED: *[Signature]*  
DATE: 5-18-92

RECORD DRAWING  
9-27-91  
12/18/95  
CIVIL ENGINEER  
STATE OF CALIFORNIA

Drawn by	JLD	Checked by	NONE	Date	SEPT. 1991
Scale	NONE	Drawn by	JLD	Checked by	NONE
STANDARD STREET SIGN DETAILS (WITHOUT SIDEWALK)					
COUNTY OF SAN JOAQUIN DEPARTMENT OF PUBLIC WORKS					
Date	SEPT. 1991	Drawing No.	R - 25		

Sub 700

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE SPECIFICATIONS, STANDARDS AND ORDINANCES OF THE SAN JOAQUIN COUNTY AND SHALL BE PART OF THESE IMPROVEMENT PLANS. STANDARD SPECIFICATIONS AND DETAIL ARE AVAILABLE IN THE OFFICE OF SAN JOAQUIN COUNTY DEPARTMENT OF PUBLIC WORKS.
2. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT MATERIALS AND WORKMANSHIP OF THE FINEST QUALITY ARE TO BE USED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF QUARTAROLI AND ASSOCIATES, (209) 239-4908 AND R.W. SIEGFRIED AND ASSOCIATES (209) 835-5300.
3. CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
4. THE EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM AVAILABLE RECORDS. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE CONTRACTOR SHALL DO NO EXCAVATION UNTIL ALL UTILITY AGENCIES HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. PRIOR TO OPENING AN EXCAVATION, THE CONTRACTOR SHALL DETERMINE WHETHER UNDERGROUND INSTALLATION, I.E., SEWER, WATER, STORM DRAINAGE, ELECTRICAL LINES, GAS LINES, CABLE T.V. LINES, ETC. WILL BE ENCOUNTERED AND, THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION. THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST FORTY (48) HOURS PRIOR TO THE START OF ACTUAL EXCAVATION. CALL U.S.A. 1-800-642-2444, P.G.S.E., (209) 466-4581, CONTEL TELEPHONE (209) 239-4128, SAN JOAQUIN COUNTY DEPARTMENT OF PUBLIC WORKS - (209) 468-3000, SOUTH SAN JOAQUIN IRRIGATION DISTRICT (209) 823-3101.
5. AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM SAN JOAQUIN COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY OFF-SITE CONSTRUCTION. ANY AND ALL SPECIFIC REQUIREMENTS OR CONSTRUCTION DETAILS IMPOSED BY THE ENCROACHMENT PERMIT SHALL BECOME A PART OF THESE IMPROVEMENT PLANS.
6. SAN JOAQUIN COUNTY DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS IN ADVANCE OF ANY OFF-SITE CONSTRUCTION (209) 468-3000.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT THE WRITTEN AUTHORIZATION FROM QUARTAROLI AND ASSOCIATES AND R.W. SIEGFRIED AND ASSOCIATES.
8. EACH CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ANY AND ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY. COST OF THIS COORDINATION IS TO BE INCLUDED IN THE PRICES BID FOR THE VARIOUS IMPROVEMENTS TO COMPLETE THE PROJECT.
9. GENERAL CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUALLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND SURVEYOR HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER, OR SURVEYOR.
10. BENCH MARK: SAN JOAQUIN COUNTY BRASS CAP STAMPED 0-33.5 100' EAST OF AUSTIN ROAD NORTH SIDE OF SOUTHLAND AVENUE ELEVATION = 50.16
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL SURVEY AND CONSTRUCTION STAKES. SURVEY AND CONSTRUCTION STAKES THAT ARE LOST OR DESTROYED DUE TO THE CONTRACTOR'S NEGLIGENCE WILL BE RESET BY THE PROJECT SURVEYOR AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE.
13. CONTRACTORS SHALL BE REQUIRED TO COOPERATE WITH THEMSELVES AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICES TO THE DEVELOPMENT, AND ANY DELAY CAUSED BY SUCH INSTALLATION SHALL NOT BE CONSIDERED AS RIGHT-OF-WAY DELAY.
14. ALL UNDERGROUND SERVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENT OF THE SAN JOAQUIN COUNTY DEPARTMENT OF PUBLIC WORKS.
15. GRADES SHOWN ON THIS PLAN DO NOT NECESSARILY REFLECT A BALANCE EARTH-WORK CUT AND FILL QUANTITIES. CONTRACTOR SHALL IMPORT OR EXPORT EARTH MATERIALS AS REQUIRED IN ORDER TO CONSTRUCT THE IMPROVEMENTS TO THE GRADES SHOWN AT NO EXTRA COST TO THE OWNER.
16. ANY FILL PLACED SHALL BE PROPERLY COMPACTED AS REQUIRED BY THE PLANS AND THESE SPECIFICATIONS.
  - A. EARTH FILL TO ESTABLISH PAVED AREA SUBGRADE SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% EXCEPT THAT THE AREA WITHIN SIX INCHES BELOW SUBGRADE SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
  - B. EARTH FILL TO ESTABLISH FINISHED GRADE OUTSIDE THE PAVED AREAS AND BUILDING AREAS SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 80% WITHIN LOT AND 90% IN ROAD RIGHT-OF-WAY.
  - C. FILL AND COMPACTION WITHIN THE BUILDING AREA SHALL BE IN ACCORDANCE WITH THE BUILDING PLANS AND/OR SPECIFICATIONS.
  - D. FILL SHALL BE NON-EXPANSIVE MATERIAL AND SHALL BE FREE OF VEGETATION OR DELETERIOUS MATTER. FILL SHALL BE COMPACTED IN LIFTS NOT TO EXCEED EIGHT INCHES.

ALL AREAS TO BE COVERED WITH ASPHALT CONCRETE PAVEMENT SHALL HAVE A SUBGRADE COMPACTED TO 95% RELATIVE COMPACTION TO A POINT SIX INCHES BELOW SUBGRADE.
17. CONTRACTOR'S BID SHALL INCLUDE THE COST OF ANY NECESSARY SOILS COMPACTION AND MATERIALS TESTING.
18. ASPHALT CONCRETE: ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS OF SECTION 39 OF THE CALTRANS STANDARD SPECIFICATIONS. THE PENETRATION RANGE OF PAVING ASPHALT SHALL BE AR-4000; AGGREGATE SHALL BE ONE-HALF (1/2) INCH MAXIMUM MEDIUM GRADING FOR SURFACING.
 

PRIME COAT SHALL BE A LIQUID ASPHALT GRADE SC-250 OR SC-70 AND SHALL BE APPLIED TO THE ENTIRE PAVED AREA AND THE COST SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ASPHALT CONCRETE. PRIME COAT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 39-4 OF THE CALTRANS STANDARD SPECIFICATIONS. USE MC-70 PRIME COAT WHERE NOTED.

AGGREGATE BASE: AGGREGATE BASE SHALL BE CLASS TWO CONFORMING TO THE REQUIREMENTS OF SECTION 26-L02B OF THE CALTRANS STANDARD SPECIFICATIONS. SPREADING AND COMPACTION AGGREGATE BASE SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 26-104 AND 26-105 OF THE CALTRANS STANDARD SPECIFICATIONS.
19. THE GRADING AND PAVING CONTRACTOR SHALL ADJUST TO FINISHED GRADE THE TOPS OF ALL PROPOSED AND EXISTING SANITARY SEWER MANHOLES, STORM DRAIN MANHOLES, VALVE BOXES AND WATER METER BOXES, ETC., AND THE COST OF SUCH WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR STREET WORK.

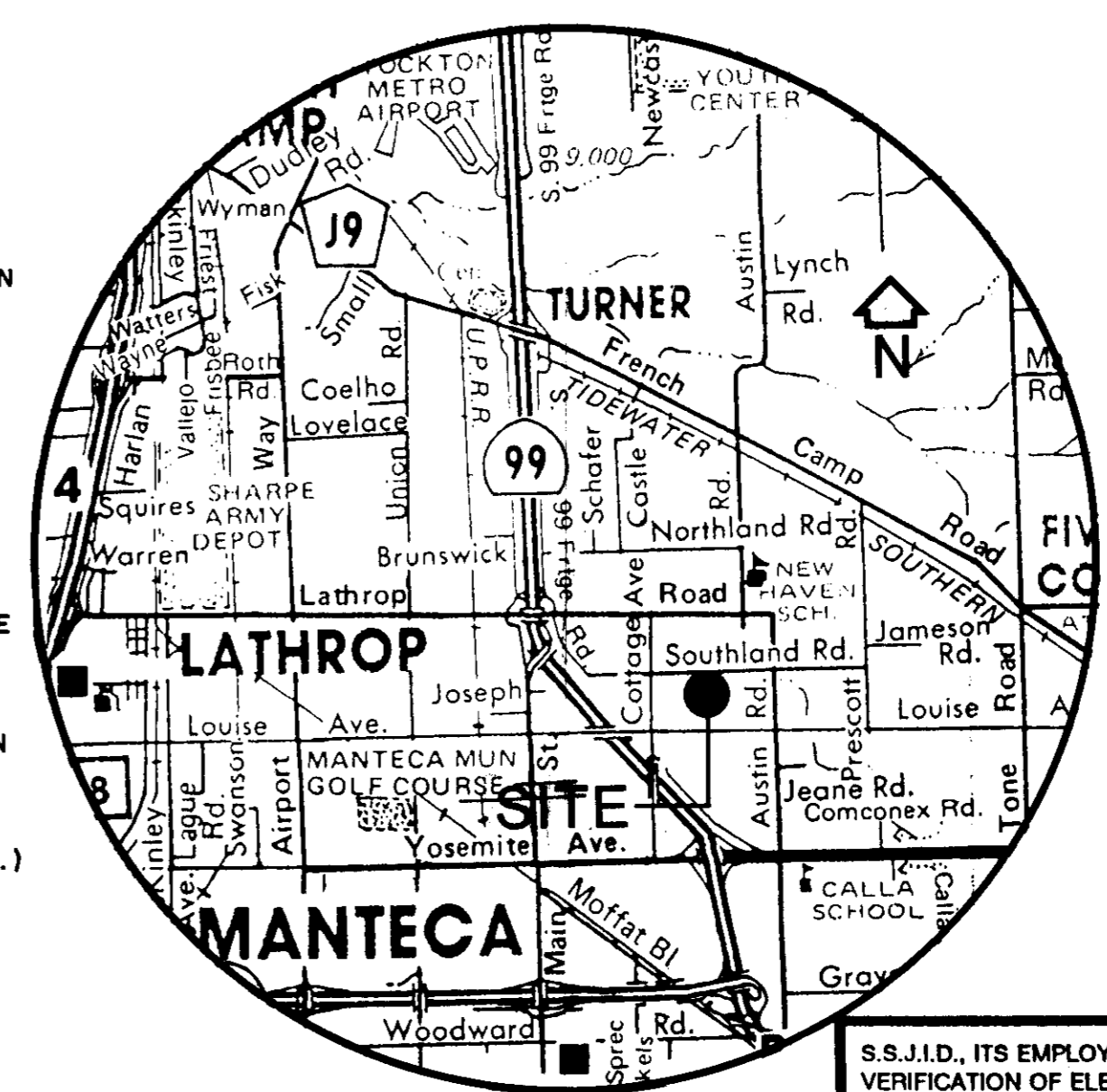
20 - 21 - VOID

# IMPROVEMENT PLANS FOR SOUTHLAND COURT

A PORTION OF LOT 47 OF  
"SECTION No.3 OF SUMMER HOME TRACT"  
MAPS AND PLATS VOLUME 3, PAGE 19,  
SAN JOAQUIN COUNTY RECORDS IN  
SECTION 27, T.1S., R.7E., M.D.B.&M.  
SAN JOAQUIN COUNTY, CALIFORNIA

### LEGEND

- BOUNDARY & R/W LINES
- PROPERTY LINE
- - - EXISTING CONTOUR LINE
- - - EXISTING FENCE
- EP EDGE OF PAVEMENT ELEVATION
- PAV PAVEMENT ELEVATION
- H.P. HIGH POINT
- L.P. LOW POINT
- L.F. LEACH FIELD
- P.U.E. PUBLIC UTILITY EASEMENT
- B.V.C. BEGINNING OF VERTICAL CURVE
- E.V.C. END OF VERTICAL CURVE
- B.C.R. BEGINNING OF CURVE RETURN
- E.C.R. END OF CURVE RETURN
- B.C. BEGINNING OF CURVE (HORIZ.)
- E.C. END OF CURVE (HORIZ.)
- ⊙ EXISTING TREE
- ⊙ STREET LIGHT (150W-HPS)



VICINITY MAP

### SHEET INDEX

1. TITLE SHEET / GENERAL NOTES
2. WEST GRADING PLAN
3. EAST GRADING PLAN
4. PLAN & PROFILE - SOUTHLAND COURT
5. PLAN & PROFILE - SOUTHLAND AVENUE
6. S&J/D CONST. NOTES & DETAILS
7. PLAN & PROFILE - S.S.J.I.P. PIPELINE RECONSTRUCTION AND RELAXATION

### OWNER/DEVELOPER

S & J ENGINEERING SERVICES CORPORATION  
4937 DELORES DRIVE  
PLEASANTON, CA 94566

### OWNER

JOHN J. FORTUNY JR. AND VIRGINIA FORTUNY  
9126 E. SOUTHLAND AVENUE  
MANTECA, CA 95336

### DEVELOPER

GARDEN PROPERTIES  
P.O. BOX 406  
MANTECA, CA 95336

S.S.J.I.D., ITS EMPLOYEES AND AGENTS ARE NOT RESPONSIBLE FOR VERIFICATION OF ELEVATIONS AND DIMENSIONS INDICATED ON PLANS NOR ANY ERRORS OR OMISSIONS THAT MAY BE PRESENT. APPROVAL IS SUBJECT TO THE DATA SHOWN WHICH APPEARS TO BE IN CONFORMITY WITH S.S.J.I.D. REQUIREMENTS FOR PROTECTION OF DISTRICT FACILITIES.

SO CONDITIONALLY APPROVED: *[Signature]*  
DATE: 5-18-92

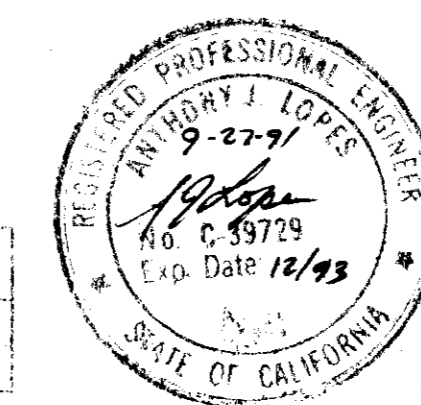
SAN JOAQUIN COUNTY PUBLIC HEALTH SERVICES  
APPROVED: ENVIRONMENTAL HEALTH DIVISION  
DATE: 4-24-92

APPROVED: MANTECA/LATHROP FIRE DISTRICT  
*[Signature]*  
DATE: 4-6-92

COUNTY OF SAN JOAQUIN  
DEPARTMENT OF PUBLIC WORKS

APPROVED: *[Signature]*  
HENRY M. HIRATA  
DIRECTOR OF PUBLIC WORKS  
R.C.E. No. 21258  
DATE: 5/22/92

R.W. SIEGFRIED & ASSOCIATED CIVIL ENGINEERS  
1500 UNIVERSITY AVENUE  
SAN JOAQUIN, CA 95377  
RDC JUN 1991  
RDC JUN 1991



APP'D BY	DATE	REVISIONS

IMPROVEMENT PLANS FOR SOUTHLAND COURT SAN JOAQUIN COUNTY, CALIFORNIA

QUARTAROLI & ASSOCIATES LAND SURVEYING AND PLANNING ENGINEERING (209) 239-4908 310 SUN WEST PLACE, SUITE "A", MANTECA, CA. 95336

DATE	5/22/92
DRAWN BY	STAFF
CHECKED BY	ADL
JOB NO.	90-165
SHEET	1
OF	7 SHEETS